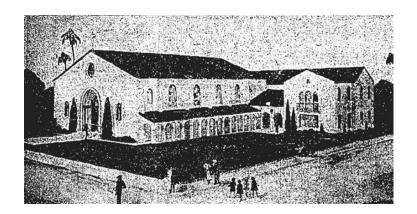
# Appendix D Historical Resources Assessment

### D-1 Historical Resources Assessment Report



#### HISTORICAL RESOURCE ASSESSMENT REPORT

## 550 S. Shatto Place, Los Angeles Revised April 25, 2019

#### HISTORIC RESOURCES GROUP

12 S. Fair Oaks Avenue, Suite 200, Pasadena, CA 91105-3816 Telephone 626 793 2400, Facsimile 626 793 2401 www.historicresourcesgroup.com PREPARED FOR

Holland & Knight 400 S. Hope Street, 8<sup>th</sup> Street Los Angeles, CA 90071

#### **TABLE OF CONTENTS**

- 4 1.0 Executive Summary
- 5 2.0 Project Location
- 7 3.0 Project Description
- 4.0 Current Setting
- 5.0 Methodology
- 6.0 Regulatory Framework
- 7.0 Previous Evaluations/Designations
- 8.0 History and Description of the Surrounding Area
- 9.0 Description of Identified and Evaluated Resources
- 20 10.0 Property History
- 29 11.0 Historic Context
- 12.0 Evaluation of Eligibility
- 37 Photographs of Identified and Evaluated Resources
- 13.0 Potential Historical Resources Adjacent to the Project Site
- 42 Photographs of Resources Adjacent to the Project Site
- 14.0 Discussion of Potential Impacts
- 50 15.0 Recommended Mitigation Measure
- 51 16.0 Sources
- 62 Appendix A: Historic Image
- 63 Appendix B: Sanborn Fire Insurance Maps
- 65 Appendix C: South Central Coastal Information Center Search Results
- 68 Appendix D: Resumes of Authors/Contributors
- 72 Appendix E: Proposed Project

#### 1.0 EXECUTIVE SUMMARY

The Applicant is proposing a project (the "Project") on the property located at 550 S. Shatto Place in the City of Los Angeles (the "Project Site"). The purpose of this report is to determine if historical resources as defined by the California Environmental Quality Act (CEQA)<sup>1</sup> are present on or adjacent to the Project Site and, if so, to identify potential impacts to historical resources by the proposed Project. This report is intended to inform environmental review of the proposed Project.

The 1936 church building on the Project Site was identified by SurveyLA, the citywide historic resources survey overseen by the City of Los Angeles' Office of Historic Resources, as appearing to be eligible through survey evaluation for listing in the National Register of Historic Places, the California Register of Historical Resources, and as a local Historic-Cultural Monument. It was evaluated as significant under the context "Architecture and Engineering, 1850-1980," and the theme "Mediterranean and Indigenous Revival Architecture, 1887-1952" as an "excellent example of Spanish Colonial Revival institutional architecture." Therefore, the church building is treated as a historical resource as defined by CEQA for purposes of this report.

There are two Mid-century Modern buildings (constructed in 1953 and 1964) on the Project Site that were not identified as significant by SurveyLA. This report evaluates the two Mid-century buildings for potential historical significance, based on an observation of existing conditions on the Project Site, primary and secondary source research related to the history of the property, review of the relevant historic contexts, and an analysis under the eligibility criteria and integrity thresholds for listing in the National Register of Historic Places, the California Register of Historical Resources, and as a City of Los Angeles Historic-Cultural Monument. A site visit was conducted on December 13, 2017. As a result of this analysis, this report confirms the SurveyLA finding that the two post-World War II buildings on the Project Site are not significant. Therefore, they are not considered historical resources for purposes of CEQA.

In addition, there are two properties in the Project vicinity at 3109 W. 6<sup>th</sup> Street and 523 S. Westmoreland Avenue that were identified as potential historical resources by SurveyLA. 3109 W. 6<sup>th</sup> Street was identified as eligible for the California Register as a "rare intact example of early commercial development located along a former streetcar line in the Wilshire area." 523 S. Westmoreland Avenue was identified as eligible for listing in the National Register as an "excellent example of a 1920s brick apartment

<sup>1</sup> California PRC, Section 21084.1.

HISTORIC RESOURCE ASSESSMENT REPORT

550 S. Shatto Place, Los Angeles

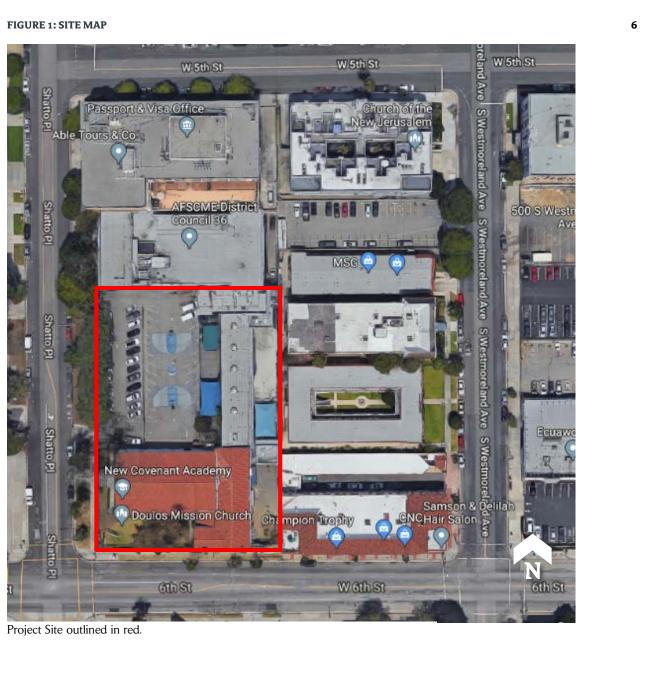
house in the Wilshire area, exhibiting the essential characteristics of the type." Therefore, this report evaluates potential indirect impacts to these resources.

As a result of this analysis, with the implementation of the recommended mitigation measure, the Project will not result in significant adverse impacts to potential historical resources on the Project Site or in the immediate Project vicinity as defined by CEQA.

#### 2.0 PROJECT LOCATION

The Project Site is a rectangular parcel located at 522, 530, and 550 S. Shatto Place (also known as 3119 W. 6<sup>th</sup> Street), within the Wilshire Community Plan Area ("CPA") of Los Angeles. It is composed of three (3) lots with the single Assessor Parcel Number (APN) 5077-004-033. The Project Site is split-zoned C2-1 in the southerly portion of the Project Site and CR-1 in the northerly portion of the Project Site. The Project Site maintains a General Plan Land Use designation of Community Commercial. A site map is included in Figure 1.

FIGURE 1: SITE MAP 6



Project Site outlined in red.

HISTORIC RESOURCE ASSESSMENT REPORT

550 S. Shatto Place, Los Angeles

3.0 PROJECT DESCRIPTION 7

TF Shatto LP (the "Applicant") proposes to construct an approximately 222,944 square foot mixed-use high-rise building containing a maximum of 256 residential units (252 apartments and four (4) townhomes), and 2,507 square feet of office uses. Additionally, the Applicant would repurpose the existing church building that contains a school and convert it to restaurant uses. Collectively, the new mixed-use tower and repurposing of the former First English Evangelical Lutheran Church constitute the Project (the "Project"). The Project would achieve a maximum height of 341 feet (31 stories, plus mechanical equipment and rooftop appurtenances). Although no parking is required for the residential uses within the Project, per TOC Tier 4 incentives, 329 parking spaces (31 for the commercial uses and 298 for the residential uses) are proposed to be located within four subterranean levels. Bicycle parking would be provided consistent with the requirements of the Los Angeles Municipal Code (LAMC), with approximately 158 short- and long-term spaces provided on-site.

Along with the proposed residential units, the Project would provide neighborhood serving commercial uses within the existing church structure to be repurposed as restaurant. Office space is proposed below the new townhouse units in front of the new tower, which would have a subterranean connection to the repurposed church building. Vehicle access (ingress/egress) would be provided from one entrance along Shatto Place, located approximately midway along the westerly property line. An on-site loading area is also accessible via this entrance, located adjacent to the subterranean parking entrance. The ground floor level of the tower features four (4) office spaces, five (5) parking stalls, and the residential lobby area and office. Level 2 contains outdoor and indoor amenity spaces, along with the proposed townhouses. Apartment units are proposed to be located on levels 3 through 27, with penthouse apartments on levels 28 and 29. Levels 30 and 31 feature additional amenity areas, including a pool. Above Level 31 would be one level containing mechanical equipment.

The Applicant proposes the merger and re-subdivision of the site into a single ground lot and four airspace lots. The proposed uses within each airspace lot would be the following: Airspace lot 2 would contain the four levels of parking. Airspace lot 3 would contain the restaurant space. Airspace lot 4 would contain the office space along with residential uses. Airspace lot 5 would contain the residential units.

At the pedestrian level, the Project would enhance the streetscape and walkability by providing sidewalks with parkway space along Shatto Place and maintaining the existing sidewalk on 6<sup>th</sup> Street. The proposed 12,800 square feet of restaurant uses within the repurposed church structure, as well as the outdoor seating area, would attract pedestrian activity and help to activate the streets in the surrounding area. Additionally,

the office uses along Shatto Pl. referenced above would further enhance the connection between the Project and the street.

#### Adaptive Re-use of First English Evangelical Lutheran Church

The Project will rehabilitate the former First English Evangelical Lutheran Church building for new use as restaurant space. The rehabilitation would include the addition of an elevator and small lobby on the north façade, to provide access to the second floor; the addition of a new access ramp leading from the site on Shatto Place to new accessible entrance/egress doors on the north façade; the addition of wide bi-folding glass doors between the buttresses on the south façade, to open the former sanctuary to the arcade and new dining patio; replacement of the existing paneled wood doors at the main entrance with new glass doors (the original doors will be stored on site); replacement of the existing stained glass with new stained glass in a new pattern, within the existing window sash; the addition of two new windows at the second story on the south façade; the addition of two new windows and a storefront opening on the east façade; the replacement of two pairs of wood doors on the east façade with glass doors; the addition of two skylights on the east side of the roof; and the addition of two skylights on the north side of the roof. The conversion of the former church for restaurant tenants also requires the addition of mechanical equipment on the east façade; and the addition of intake and exhaust vents on the north and east façades.

The Project will also add a gateway at the southeast corner of the Church building, along 6<sup>th</sup> Street. The gateway will be constructed of metal and glass, and will include a stained-glass screen that wraps the southeast corner of the Church building at the second story.

#### 4.0 CURRENT SETTING

The property at 550 S. Shatto Place contains a church building constructed in 1936 for the First English Evangelical Lutheran Church, occupying lot 10 of the Shatto Place Tract; two school buildings constructed in 1953 and 1964; and restroom and storage facilities constructed in 2004. The property is currently occupied by the New Covenant Academy. Today the property comprises lots 10, 11, and 12 of the Shatto Place Tract.

The property is flanked to the north by commercial buildings ranging in height from four to six stories; and to the east by multi-family residential and mixed-use buildings ranging in height from two to four stories. The property faces a surface parking lot and a multi-story parking garage directly across Shatto Place; and commercial and institutional buildings, ranging in height from one to three stories, across 6<sup>th</sup> Street.

5.0 METHODOLOGY 9

The 1936 church building was identified as historically significant by SurveyLA, and therefore is not re-evaluated in this report. The two Mid-century Modern buildings on the property at 550 S. Shatto Place were evaluated using integrity thresholds and eligibility criteria for listing in the National Register of Historic Places, the California Register of Historical Resources, and as a City of Los Angeles Historic-Cultural Monument. The field methods and analysis are based on guidance from the National Park Service, the California Office of Historic Preservation, and the City of Los Angeles Office of Historic Resources for evaluating potential historic resources; and an identification of physical features and historic integrity ascertained during the site visit and through building records.

This report was prepared using sources related to the history and development of 550 S. Shatto Place. The following sources were consulted:

- Building permits
- Sanborn Fire Insurance maps
- Historic newspaper articles
- Other primary and secondary sources relevant to the history of the site
- SurveyLA Historic Context Statement, Wilshire Community Plan Area Survey Report, and survey findings

Research, field inspection, and analysis were performed by Christine Lazzaretto, Managing Principal; John LoCascio, AIA, Principal; and Molly Iker-Johnson, Associate Architectural Historian. All meet the Secretary of the Interior's Professional Qualifications Standards in History and Architectural History.

6.0 REGULATORY FRAMEWORK 10

#### 6.1 Historical Resources under CEQA

CEQA requires that environmental protection be given significant consideration in the decision-making process. Historical resources are included under environmental protection. Thus, any project or action which constitutes a substantial adverse change to a historical resource also has a significant effect on the environment pursuant to the State CEQA Guidelines.

When the California Register of Historical Resources was established in 1992, the Legislature amended CEQA to clarify which cultural resources are significant, as well as which project impacts are considered to be significantly adverse. A "substantial adverse change" means "physical demolition, destruction, relocation, or alteration of the resource or its immediate surroundings such that the significance of an historical resource would be materially impaired."<sup>2</sup>

CEQA defines a historical resource as a resource listed in, or determined eligible for listing, in the California Register of Historical Resources. All properties on the California Register are to be considered under CEQA. However, because a property does not appear on the California Register does not mean it is not significant and therefore exempt from CEQA consideration. All resources determined eligible for the California Register are also to be considered under CEQA.

The courts have interpreted CEQA to create three categories of historical resources:

- *Mandatory historical resources* are resources "listed in, or determined to be eligible for listing in, the California Register of Historical Resources."
- Presumptive historical resources are resources "included in a local register of
  historical resources, as defined in subdivision (k) of Section 5020.1, or deemed
  significant pursuant to criteria set forth in subdivision (g) of Section 5024.1" of
  the Public Resources Code, unless the preponderance of the evidence
  demonstrates that the resource is not historically or culturally significant.
- Discretionary historical resources are those resources that are not listed but determined to be eligible under the criteria for the California Register of Historical Resources.<sup>3</sup>

<sup>&</sup>lt;sup>2</sup> State CEQA Guidelines Section 15064.5(b)(1).

<sup>3</sup> League for the Protection of Oakland's Architectural and Historic Resources vs. City of Oakland, 52 Cal. App. 4<sup>th</sup> 896, 906-7 (1997).

To simplify the first three definitions provided in the CEQA statute, an historical resource is a resource that is:

- Listed in the California Register of Historical Resources (California Register);
- Determined eligible for the California Register by the State Historical Resources Commission; or
- Included in a local register of historical resources.

Section 15064.5 of the CEQA Guidelines (California Code of Regulations, Title 14, Chapter 3) supplements the statute by providing two additional definitions of historical resources, which may be simplified in the following manner. An historical resource is a resource that is:

- Identified as significant in an historical resource survey meeting the requirements of Public Resources Code 5024.1 (g);
- Determined by a Lead Agency to be historically significant or significant in the
  architectural, engineering, scientific, economic, agricultural, educational, social,
  political, military, or cultural annals of California. Generally, this category
  includes resources that meet the criteria for listing on the California Register
  (Pub. Res. Code SS5024.1, Title 14 CCR, Section 4852).

The fact that a resource is not listed in, or determined eligible for listing in, the California Register, not included in a local register of historical resources, or not deemed significant pursuant to criteria set forth in subdivision (g) of Section 5024.1, does not preclude a lead agency from determining that the resource may be an "historical resource" for purposes of CEQA.

Properties formally determined eligible for listing in the National Register of Historic Places are automatically listed in the California Register. Properties designated by local municipalities can also be considered historical resources. A review of properties that are potentially affected by a project for historic eligibility is also required under CEQA.

#### 6.2 Historic Designations

Historic resources may be designated at the federal, state, and local levels. Current landmark designations available for properties located in Los Angeles include: listing in the National Register of Historic Places, the California Register of Historical Resources, and as City of Los Angeles Historic-Cultural Monuments. While all designation programs place emphasis on architectural character, they also use basic criteria relating

to a property's place in important events or patterns of development, association with important personages, and architectural significance.

#### National Register of Historic Places

The National Register of Historic Places is an authoritative guide to be used by Federal, State, and local governments, private groups and citizens to identify the Nation's cultural resources and to indicate what properties should be considered for protection from destruction or impairment. The National Park Service administers the National Register program. Listing in the National Register assists in preservation of historic properties in several ways including: recognition that a property is of significance to the nation, the state, or the community; consideration in the planning for federal or federally assisted projects; eligibility for federal tax benefits; and qualification for Federal assistance for historic preservation, when funds are available.

To be eligible for listing and/or listed in the National Register, a resource must possess significance in American history and culture, architecture, or archaeology. Listing in the National Register is primarily honorary and does not in and of itself provide protection of a historic resource. The primary effect of listing in the National Register on private owners of historic buildings is the availability of financial and tax incentives. In addition, for projects that receive Federal funding, a clearance process must be completed in accordance with Section 106 of the National Historic Preservation Act. Furthermore, state and local regulations may apply to properties listed in the National Register.

The criteria for listing in the National Register follow established guidelines for determining the significance of properties. The quality of significance in American history, architecture, archeology, engineering, and culture is present in districts, sites, buildings, structures, and objects:

- A. That are associated with events that have made a significant contribution to the broad patterns of our history; or
- B. That are associated with the lives of persons significant in our past; or
- C. That embody the distinctive characteristics of a type, period, or method of construction, or that represent the work of a master, or that possess high artistic

<sup>&</sup>lt;sup>4</sup> 36CFR60, Section 60.2.

- values, or that represent a significant and distinguishable entity whose components may lack individual distinction; or
- D. That have yielded, or may be likely to yield, information important in prehistory or history.<sup>5</sup>

#### Criteria Consideration A: Religious Properties

A religious property is eligible if it derives its primary significance from architectural or artistic distinction or historical importance.

A religious property requires justification on architectural, artistic, or historic grounds to avoid any appearance of judgment by government about the validity of any religion or belief. Historic significance for a religious property cannot be established on the merits of a religious doctrine, but rather, for architectural or artistic values or for important historic or cultural forces that the property represents. A religious property's significance under Criterion A, B, C, or D must be judged in purely secular terms. A religious group may, in some cases, be considered a cultural group whose activities are significant in areas broader than religious history.<sup>6</sup>

#### Integrity

In addition to meeting any or all of the National Register designation criteria listed above, properties nominated must also possess historic *integrity*. Historic integrity is the ability of a property to convey its significance and is defined as "the authenticity of a property's historic identity, evidenced by the survival of physical characteristics that existed during the property's historic period."<sup>7</sup>

The National Register recognizes seven aspects or qualities that comprise integrity: location, design, setting, materials, workmanship, feeling, and association. These qualities are defined as follows:

- *Location* is the place where the historic property was constructed or the place where the historic event took place.
- Design is the combination of elements that create the form, plan, space, structure, and style of a property.

<sup>&</sup>lt;sup>5</sup> 36CFR60, Section 60.3. Criterion D addresses potential archaeological resources; therefore, it is not analyzed as part of this report.

<sup>&</sup>lt;sup>6</sup> National Register Bulletin 15.

<sup>&</sup>lt;sup>7</sup> U.S. Department of the Interior, "National Register Bulletin 16: How to Complete the National Register Registration Form" (Washington, D.C.: National Park Service, 1997).

- *Setting* is the physical environment of a historic property.
- Materials are the physical elements that were combined or deposited during a
  particular period of time and in a particular pattern or configuration to form a
  historic property.
- *Workmanship* is the physical evidence of the crafts of a particular culture or people during any given period in history or prehistory.
- Feeling is a property's expression of the aesthetic or historic sense of a particular period of time.
- Association is the direct link between an important historic event or person and a historic property.<sup>8</sup>

#### California Register of Historical Resources

The California Register is an authoritative guide in California used by State and local agencies, private groups, and citizens to identify the State's historic resources and to indicate what properties are to be protected, to the extent prudent and feasible, from substantial adverse change.9

The criteria for eligibility for listing in the California Register are based upon National Register criteria. These criteria are:

- Associated with events that have made a significant contribution to the broad patterns of local or regional history or the cultural heritage of California or the United States.
- 2. Associated with the lives of persons important to local, California or national history.
- 3. Embodies the distinctive characteristics of a type, period, region or method of construction or represents the work of a master or possesses high artistic values.
- 4. Has yielded, or has the potential to yield, information important to the prehistory or history of the local area, California or the nation.<sup>10</sup>

<sup>&</sup>lt;sup>8</sup> U.S. Department of the Interior, "National Register Bulletin 15: How to Apply the National Register Criteria for Evaluation" (Washington D.C.: National Park Service, 1995).

<sup>9</sup> California PRC, Section 5023.1(a).

<sup>&</sup>lt;sup>10</sup> Criterion 4 addresses potential archaeological resources; therefore, it is not analyzed as part of this report.

For integrity purposes, resources eligible for listing in the California Register must retain enough of their historic character or appearance to be recognizable as historical resources and to convey the reasons for their significance. It is possible that resources lacking sufficient integrity for listing in the National Register may still be eligible for the California Register.<sup>11</sup>

#### City of Los Angeles Historic-Cultural Monuments

The City of Los Angeles Cultural Heritage Ordinance, first enacted in 1962 and updated in 2018, allows for the designation of buildings and sites as individual local landmarks in the City of Los Angeles. These landmarks are known as "Historic-Cultural Monuments."

Section 22.171.7 of Article 1, Chapter 9, Division 22 of the City of Los Angeles Administrative Code defines a Historic-Cultural Monument as "any site (including significant trees or other plant life located on the site), building or structure of particular historic or cultural significance to the City of Los Angeles." A proposed Monument may be designated by the City Council upon the recommendation of the Cultural Heritage Commission if it meets at least one of the following criteria:

- 1. Is identified with important events of national, state, or local history, or exemplifies significant contributions to the broad cultural, economic or social history of the nation, state, city or community;
- 2. Is associated with the lives of historic personages important to national, state, city, or local history; or
- 3. Embodies the distinctive characteristics of a style, type, period, or method of construction; or represents a notable work of a master designer, builder, or architect whose individual genius influenced his or her age.

Designation as a Historic-Cultural Monument is "reserved for those resources that have a special aesthetic, architectural, or engineering interest or value of a historic nature." <sup>12</sup> For integrity purposes, resources eligible for local designation should retain enough of their historic character or appearance to convey the reasons for their significance.

<sup>11</sup> State of California Department of Parks and Recreation, "California Office of Historic Preservation Technical Assistance Series #6: California Register and National Register: A Comparison," Sacramento, CA: Office of Historic Preservation, 2011

<sup>&</sup>lt;sup>12</sup> Los Angeles Department of City Planning, "Historic-Cultural Monuments: What Makes a Resource Historically Significant?," Los Angeles: Office of Historic Resources, <a href="https://preservation.lacity.org/commission/what-makes-resource-historically-significant">https://preservation.lacity.org/commission/what-makes-resource-historically-significant</a> (accessed August 2018).

The 1936 church building at 550 S. Shatto Place was assigned California Historical Resources Status Codes 3S/3CS/5S3 (appears eligible for the National Register, California Register, and locally as an individual property through survey evaluation) during SurveyLA, the citywide historic resources survey overseen by the City's Office of Historic Resources. The property is located in the Wilshire Community Plan Area ("CPA"), which was surveyed in 2014. It was identified as eligible under the context "Architecture and Engineering, 1850-1980," and the theme "Mediterranean and Indigenous Revival Architecture, 1887-1952." It is not listed in the California Historic Resources Inventory (HRI).<sup>13</sup>

None of the other buildings on the property have been identified in previous surveys as potential historic resources, and none are listed in the HRI.

A records search was conducted on October 9, 2018 at the California Historical Resources Information System (CHRIS) South Central Coastal Information Center (SCCIC) housed at the California State University, Fullerton. The records search included a review of all previous cultural resource studies and previously documented historic or architectural resources on the Project Site. No information related to the Project Site was located as part of the records search. The formal response is included in Appendix D.

8.0 HISTORY AND DESCRIPTION OF THE SURROUNDING AREA

#### Wilshire Community Plan Area

550 S. Shatto Pl. is located in the Wilshire neighborhood of the City of Los Angeles. In 1887, Henry Gaylord Wilshire, an entrepreneur from Ohio, purchased 35 acres west of present-day MacArthur Park in partnership with his brother, William. They subdivided the land in 1895, envisioning a luxurious subdivision anchored by a wide, graveled avenue (present-day Wilshire Boulevard) that would connect present-day MacArthur and Lafayette Parks, and arranged a deal to build an intersecting boulevard (present-day Lafayette Park Place) if the City donated the land. These streets became the heart of a subdivision with generous lots, palm trees, and views of MacArthur Park and downtown Los Angeles.

<sup>&</sup>lt;sup>13</sup> California Historical Resources Inventory, August 15, 2011.

<sup>14</sup> History of the Wilshire neighborhood adapted from Architectural Resources Group, Historic Resources Survey Report: Wilshire Community Plan Area, January 2015.

<sup>&</sup>lt;sup>15</sup> In 1897, Wilshire Boulevard was extended to meet Vermont Avenue as it became Los Angeles' new western boundary; the road angled away from its original alignment with the downtown street grid to instead orient toward the cardinal directions. The final gap in the thoroughfare was eliminated in 1934, when Wilshire was pushed through MacArthur Park.

The Wilshire neighborhood developed steadily throughout the 1910s and 1920s, with large apartment buildings, resort hotels, and commercial buildings rising throughout the district. In the late 1920s, twenty-five blocks of Wilshire from MacArthur Park to Western Avenue were rezoned for commercial use, spurring a new era of rapid development in the eastern part of the Wilshire district. The neighborhood's commercial identity soon became one of affluence, newness, and convenience, in contrast to the older and more established downtown commercial district. The most potent symbol of the Wilshire district's glamour was the 1929 Bullock's Wilshire department store, one of the first businesses in Los Angeles designed to cater to customers arriving by car.

Large parking lots, service stations, automobile dealerships, drive-up markets, and drive-up coffee shops soon sprang up throughout the district. The neighborhood became known as Los Angeles' playground: recreational facilities were established throughout the district, and local dining and dancing institutions like the Brown Derby lured people to the Wilshire neighborhood.

Institutional development occurred early on along Wilshire Boulevard. High-profile institutional buildings developed alongside commercial buildings on the boulevard in the 1920s and 1930s. Religious organizations built new, massive houses of worship, such as the Wilshire Boulevard Temple and Immanuel Presbyterian Church, to serve local congregations. Smaller community organizations, financial institutions, and religious institutions established themselves along other commercial corridors.

The Wilshire district saw little commercial development during World War II. In the postwar years, however, Wilshire Boulevard's luxurious department stores, clubs, and restaurants were joined by office buildings housing high-profile corporations, earning Wilshire a new reputation as a business center. The 1957 lifting of the city's 150-foot height limit restriction led to towering skyscrapers, bringing a fundamental change to the built environment in the area. The postwar period saw a shift in the area's architectural identity, with many commercial and institutional buildings exhibiting sleek Modern styles rather than the more extravagant styles of previous decades.

Wilshire's reputation as a world-class business center continued through the 1970s, with dozens of new high-rise corporate buildings constructed in the neighborhood. However, it began to wane in the 1980s as corporations moved to cheaper and less congested San Fernando Valley and West Los Angeles neighborhoods. The district's prospects looked bleak until an infusion of capital from Korean investors arrived, transforming a portion of the Wilshire district into present-day Koreatown.

Koreatown comprises a portion of the Wilshire neighborhood. This area of the city became known as Koreatown between 1970 and 1985, when Korean Americans and Latino Americans purchased and reused existing commercial buildings in the area around Olympic Boulevard and 8th Street. This influx of Korean commercial enterprise in the area transformed it into the center of a vibrant Korean American community.<sup>17</sup> Present-day Koreatown is roughly bounded by Beverly Boulevard on the north, Wilton Place and Crenshaw Boulevard on the west, Olympic Boulevard on the south, and Virgil and Westmoreland Avenues on the east.

In 1965, U.S. immigration policy underwent a substantial overhaul with the passage of the Immigration and Nationality Act (commonly known as the Hart-Celler Act), which effectively ended discriminatory immigration restrictions. By rescinding policies that previously favored European immigration, a substantial influx of immigrants arrived from Latin America and Asia over the following years. At first, emigrants from Korea numbered several thousand, more than doubling the approximately 1,500 Koreans arriving each year prior to 1965. However, by the early 1970s the numbers increased dramatically, with over 30,000 Korean immigrants entering the U.S. in 1976 alone. By 1979, Los Angeles had the largest population of Koreans outside of Korea. This population, estimated at approximately 170,000, was largely concentrated in the Koreatown area.

As with other immigrant groups, recently-arrived Koreans gravitated towards established ethnic communities. This was especially true in Los Angeles, where Korean American cultural and economic institutions were concentrated in the old Koreatown neighborhood, and nearby commercial and residential rental rates were relatively low. Postwar suburban development drew many of the white residents from urban Los Angeles in a "white flight" migration that left the central areas under-occupied. At the

<sup>&</sup>lt;sup>16</sup> Architectural Resources Group, Inc., *SurveyLA: Historic Resources Survey Report*, 6. This area was not known as Koreatown until the 1970s and 1980s. During its early development, the neighborhood was part of the Wilshire District. It should be noted that many of the smaller neighborhoods within the area now known widely as Koreatown do not identify themselves as "Koreatown."

<sup>&</sup>lt;sup>17</sup> Architectural Resources Group, Inc., SurveyLA: Historic Resources Survey Report, 6.

<sup>&</sup>lt;sup>18</sup> Portions of this context are adapted from City of Los Angeles, Department of City Planning, "Context: Korean Americans in Los Angeles," in *SurveyLA: Los Angeles Historic Resources Survey Project, Draft Historic Context Statement,* September 2017.

<sup>&</sup>lt;sup>19</sup> Hak-Hoon Kim, "Residential Patterns and Mobility of Koreans in Los Angeles County," (Master's thesis, California State University, Los Angeles, 1986), 10.

<sup>&</sup>lt;sup>20</sup> Pyong Gap Min, "Korean Immigrants in Los Angeles," *California Immigrants in World Perspective: The Conference Papers* (Institute for Social Science Research, University of California, Los Angeles: April 1990), 3.

same time, the opening of the Santa Monica Freeway (Interstate 10) in the mid-1960s replaced Olympic Boulevard as the main east-west connector and resulted in decreased traffic, higher vacancies, and more affordable commercial rents along the boulevard.<sup>21</sup> This pre-existing ethnic community and supporting institutions combined with the relative affordability of nearby areas and the rapid influx of immigrants with the capital to start commercial endeavors effectively created one of the highest concentrations of Korean people and institutions in the United States in present-day Koreatown.<sup>22</sup>

The church at 550 S. Shatto Place has specifically been associated with the Korean community only since 2008, when New Life Oasis Church moved into the sanctuary. The association continued in 2013 when New Covenant Academy moved its campus to the property. New Covenant Academy was founded by Dr. Jason Song and Mrs. Kara Kim-Song in 1999.

#### 9.0 DESCRIPTION OF IDENTIFIED AND EVALUATED RESOURCES

550 S. Shatto Place is located on the east side of S. Shatto Place, at the northeast corner of the intersection of S. Shatto Place and W. 6<sup>th</sup> Street in what is now known as the Koreatown neighborhood of the City of Los Angeles. The property is flanked to the east by a commercial building and multi-family residences, and to the north by institutional buildings. The flat parcel is at a slightly higher elevation than the adjacent street and contains a one-story church (with a mezzanine level) and two, two-story school buildings. All the buildings are set back from the street by a sloped landscaped area with mature trees and a metal fence. There is a surface parking lot and playground at the center of the parcel.

The 1936 church building is primarily Spanish Colonial Revival in style, with some Romanesque Revival elements. It has an irregular plan, horizontal massing, and asymmetrical composition. The sanctuary has a front gable roof; the two-story portion comprising the Sunday school, has a combination gable and hipped roof. There is a shed roofed arcade running the length of the south façade of the church. The roofs have tight eaves and clay barrel tile roofing. The exterior walls are clad in cement plaster. There are buttresses along the north and south façades of the church.

Fenestration consists primarily of divided-light steel-sash fixed and casement windows, and round-arched stained-glass windows. The Romanesque Revival-style coupled windows flanking the primary entrance have cast stone colonettes and surrounds. Several windows have wrought iron security bars. The Romanesque Revival-style

<sup>&</sup>lt;sup>21</sup> Kim, "Residential Patterns," 56-57.

<sup>&</sup>lt;sup>22</sup> Diana Sherman, "Largest Outside Korea: Korean Town's Extent, Population Grown Daily," Los Angeles Times, February 25, 1979.

primary entrance is located in the center of the west façade and consists of a pair of paneled wood doors recessed within a cast stone portal with concentric decorative archivolts and jamb columns. The doors are accessed from the sidewalk by a concrete stair.

The two additions that comprise the classroom buildings are Mid-century Modern in style, with rectilinear plans, horizontal massing, flat roofs, asymmetrical composition, and exterior walls veneered in cement plaster. Fenestration consists primarily of double-hung wood sash windows and horizontal sliding vinyl windows. There is a small balcony with a decorative metal railing on the second story of the west façade of the school building.

#### 10.0 PROPERTY HISTORY

#### **Construction History**

The church at 550 S. Shatto Place was constructed in 1936 for the First English Evangelical Lutheran Church. There was no architect associated with the project; the structural engineer was W.E. Wilson.<sup>23</sup> At the time of its construction, the one-story (with mezzanine) sanctuary had a listed seating capacity of 560. The two-story portion of the building housed the Sunday school, a 225-person auditorium, a pastor's study, and club rooms.<sup>24</sup> According to the 1950 Sanborn Fire Insurance map documenting the street, the church occupied one parcel at the northeast corner of Shatto Place and 6<sup>th</sup> Street, with two, two-story single-family residences with detached rear garages occupying the parcels at 522 and 530 Shatto Place. These residences were utilized by the church as a parish house and parsonage.<sup>25</sup>

In 1953, a one-story, six-room school building, designed by architect J.A. Murrey, AIA, was added immediately adjacent to the north façade of the church building, extending north on the property behind the parish house and parsonage. <sup>26</sup> The following year, toilet facilities, also designed by Murrey, were added to the school building. <sup>27</sup> Between 1954 and 1964, the parsonage and parish house were demolished to provide space for a surface parking lot. In 1964, Phillip M. Conkle designed a two-story school building, which was added to the property immediately to the north of the 1953 school building. In 2004, the existing toilet facilities were demolished, and replaced with two, two-story restroom and storage buildings.

- <sup>23</sup> City of Los Angeles building permit 18135, July 20, 1936.
- <sup>24</sup> "Important Property Purchase Announced," Los Angeles Times, August 2, 1936.
- <sup>25</sup> City of Los Angeles building permit 51422, January 27, 1953.
- <sup>26</sup> City of Los Angeles building permit 51421, January 27, 1953.
- <sup>27</sup> City of Los Angeles building permit 77160, January 4, 1964.

Alterations 21

There have been few exterior alterations to the 1936 church building at 550 S. Shatto Place. Between 2015 and 2016, the rose window above the primary door was covered with plywood, as was the tympanum above the primary entry doors. It is unknown whether the original features remain in place. The building's interiors have been altered by the addition of suspended acoustical tile ceilings in the two-story wing, and the conversion of the former sanctuary to an indoor basketball court. The sanctuary retains decorative wood trusses and a small altar, but the building's interiors are not architecturally distinctive or highly detailed.

There have been several additions to the site over time, which are identified in Figure 2. In 1953, a one-story, six-room classroom building was added immediately adjacent to the north façade of the 1936 church building. In 1964, a second two-story classroom building was added immediately north of the 1953 classroom building. There is a restroom and storage addition, completed in 2004, to the east of the 1953 and 1964 classroom buildings, and a freestanding restroom and storage building to the east, completed in 2004. Between 1954 and 1964, the parsonage and parish house on the property were demolished to provide space for a surface parking lot.

Signage for the New Covenant Academy, which currently occupies the building, has been added to the west façade of the church. In addition to the school buildings added in 1953 and 1964, three small shed-like additions were added to the north façade of the church building at an unknown date.



Site plan, organized by construction date.

#### Legend

- **1936**
- **1953**
- 1964
- 2004
- Property Line
- Church
- **2.** 1-story Classroom **Building**
- **3.** 2-story Classroom **Building**
- **4.** Restroom and storage addition
- **5.** Restroom addition

The church at 550 S. Shatto Place was constructed in 1936. There was no architect associated with the project; the structural engineer was W.E. Wilson.<sup>28</sup> Architect J.A. Murrey, AIA designed a one-story, six-room school building and toilet facilities for the campus. Architect Phillip M. Conkle designed a two-story school building for the campus.

Little information is known about the architects who worked at the site, and they are not considered masters.

#### **Spanish Colonial Revival Architecture**

The former First English Lutheran Church, constructed in 1936, was designed in the Spanish Colonial Revival architectural style, with some Romanesque Revival elements.

The Spanish Colonial Revival style attained widespread popularity throughout Southern California following the 1915 Panama-California Exposition in San Diego, which was housed in a series of buildings designed by chief architect Bertram Grosvenor Goodhue in the late Baroque Churrigueresque style of Spain and Mexico. The Churrigueresque style, with areas of intricate ornamentation juxtaposed against plain stucco wall surfaces and accented with towers and domes, lent itself to monumental public edifices, churches and exuberant commercial buildings and theaters. For smaller scale buildings, architects often drew inspiration from provincial Spain, particularly the arid southern region of Andalusia, where many young American architects were diverted while World War I prevented their traditional post-graduate "grand tour" of Great Britain, France, Italy, and Germany.

The Spanish Colonial Revival style in Southern California includes creative combinations of plaster, tile, wood, and iron, featuring plaster-clad volumes arranged around patios, low-pitched tile roofs, and a spreading, horizontal orientation. It was a deliberate attempt to develop a "native" California architectural style and romanticize the area's colonial past, though it drew directly from Spanish and other Mediterranean precedents and bore little resemblance to the missions and rustic adobe ranch houses that comprised the state's actual colonial-era buildings.

The popularity of the Spanish Colonial Revival style extended across nearly all property types, including a range of residential, commercial, and institutional buildings, and coincided with Southern California's population boom of the 1920s, with the result that large expanses of Los Angeles and surrounding cities were developed in the style. Some

<sup>28</sup> City of Los Angeles building permit 18135, July 20, 1936.

HISTORIC RESOURCE ASSESSMENT REPORT

550 S. Shatto Place, Los Angeles

towns, such as Santa Barbara, even passed ordinances requiring its use in new construction. It shaped the region's expansion for nearly two decades, reaching a high point in 1929 and tapering off through the 1930s as the Great Depression gradually took hold. Like other revival styles, the Spanish Colonial Revival style was often simplified, reduced to its signature elements, or creatively combined with design features of other Mediterranean regions such as Italy, southern France, and North Africa, resulting in a pan-Mediterranean mélange of eclectic variations. It was also sometimes combined, much less frequently, with the emerging Art Deco and Moderne styles.

#### **Romanesque Revival Architecture**

The Romanesque Revival style was introduced in the United States in the mid-19th century. The style was championed by Boston architect Henry Hobson Richardson (1838-1886) and became popular for public buildings during the 1880s. Even after Richardson's death in 1886, interest in the style continued to grow, aided by the release of a book on his work, and later pattern books and builders' guides.

Romanesque Revival style buildings are most easily identified by their pronounced rounded arches and stone or brick construction. Most have round towers, squat columns, and decorative plaques with intricate or interlacing patterns. With its strong sense of gravity and permanence, the Romanesque Revival style was especially suited to churches, university buildings, and other public buildings.

#### **Mid-century Modern Architecture**

The property contains a two-story school building which abuts the original 1936 former First English Lutheran Church building. What now comprises the school building was constructed in 1953 and 1964, and generally reflects elements of the Mid-century Modern architectural style.

Mid-century Modern is a term used to describe the post-World War II iteration of the International Style in both residential and commercial design. The International Style was characterized by geometric forms, smooth wall surfaces, and an absence of exterior decoration. Mid-century Modern represents the adaptation of these elements to the local climate and topography, as well as to the postwar need for efficiently-built, moderately-priced homes. In Southern California, this often meant the use of wood post-and-beam construction. Mid-century Modernism is often characterized by a clear expression of structure and materials, large expanses of glass, and open interior plans.

The roots of the style can be traced to early Modernists like Richard Neutra and Rudolph Schindler, whose local work inspired "second generation" Modern architects like Gregory Ain, Craig Ellwood, Harwell Hamilton Harris, Pierre Koenig, Raphael Soriano, and many more. These post-war architects developed an indigenous

Modernism that was born from the International Style but matured into a fundamentally regional style, fostered in part by *Art and Architecture* magazine's pivotal Case Study Program (1945-1966). The style gained popularity because its use of standardized, prefabricated materials permitted quick and economical construction. It became the predominant architectural style in the postwar years and is represented in almost every property type, from single-family residences to commercial buildings to gas stations.

According to the eligibility standards developed for SurveyLA, the character-defining features of Mid-century Modern institutional architecture include:29

- Direct expression of the structural system, often wood or steel post and beam
- Flat roof, at times with wide overhanging eaves
- Floor-to-ceiling windows, often flush-mounted metal framed
- Horizontal massing
- Simple, geometric volumes
- Unornamented wall surfaces

#### Ownership/Occupant History: 550 S. Shatto Place

#### First English Lutheran Church

The First English Lutheran Church was organized in Los Angeles in January 1886. The congregation initially met in a building on the McDonald block of Main Street.<sup>30</sup> However, by May 1887, the congregation had purchased a parcel at 8<sup>th</sup> and Flower Streets, on which the first sanctuary was constructed, completed in 1890.<sup>31</sup>

In 1926, there was controversy within the congregation as the Lutheran Synod of California charged the pastor, Dr. W.S. Dysinger, with six charges "involving insubordination and other conduct contrary to the synod's regulations." Dysinger was found guilty on five of six counts and given six months to restore harmony in the congregation or to resign. Dysinger refused, causing a schism in the congregation. Dissatisfied members of Dysinger's congregation formed a new church, meeting at the chapel of the California Lutheran Hospital at 1414 S. Hope Street, led by Dr. David R. Huber.<sup>33</sup>

<sup>&</sup>lt;sup>29</sup> City of Los Angeles, Office of Historic Resources, Architecture and Engineering, 1850-1980 Eligibility Standards, 404.

<sup>&</sup>lt;sup>30</sup> "The First English Lutheran Church," Los Angeles Times, May 23, 1887.

<sup>&</sup>lt;sup>31</sup> "The First English Lutheran Church," Los Angeles Times, May 23, 1887; Rev. John Edward Hoick, The Fruitage of Fifty Years in California: A History of the Evangelical Lutheran Synod of California (1941), 30.

<sup>&</sup>lt;sup>32</sup> "Dr. Dysinger Found Guilty," Los Angeles Times, April 14, 1926.

<sup>33 &</sup>quot;New Pastor in Lutheran Church Row," Los Angeles Times, March 26, 1927.

In 1932, after a lengthy conflict over the church building at 8<sup>th</sup> and Flower Streets, Dysinger's congregation surrendered the church to Huber's congregation. Dysinger's congregation moved to a building at 925 S. Flower Street, conducting services under the name of English Evangelical Lutheran Church.<sup>34</sup>

In 1936, Huber's congregation was forced to vacate the Flower Street location when the Southern California Gas Company purchased the lot at 8<sup>th</sup> and Flower Streets.<sup>35</sup> The First English Lutheran Church purchased the property at 550 S. Shatto Place, and constructed a new sanctuary, which was in an "L-shape, [...] of Mission architectural design." <sup>36</sup> Over time, the church property was expanded through the acquisition of the two parcels to the north, which contained two single-family houses. The residences were used as the parsonage and parish house.<sup>37</sup> Based on historic building permits, the First English Lutheran Church and associated school were located at 550 S. Shatto Place from 1936 until approximately 2008.<sup>38</sup>

#### New Life Oasis Church

Between approximately 2008 and 2012, New Life Oasis Church occupied the church and school campus. By 2011, New Covenant Academy also operated at the site.<sup>39</sup>

#### New Covenant Academy

In August 2013, the New Covenant Academy (NCA) purchased the school's present campus on the northeast corner of 6<sup>th</sup> Street and Shatto Place in Los Angeles.<sup>40</sup>

#### **Use History**

550 S. Shatto Pl. was historically constructed as a church; an associated school was added to the site over time. The historic church building and associated school are presently operating as a Christian school serving grades Kindergarten through 12.

<sup>34 &</sup>quot;Home-Coming Services for Huber and Flock," Los Angeles Times, June 4, 1932.

<sup>35 &</sup>quot;Old Church Site Bought," Los Angeles Times, July 30, 1936.

<sup>&</sup>lt;sup>36</sup> "Important Property Purchase Announced," Los Angeles Times, August 2, 1936.

<sup>37 1930</sup> Sanborn Fire Insurance Map.

<sup>&</sup>lt;sup>38</sup> By March 2008, the building was vacant. City of Los Angeles building permit 18135, July 20, 1936; Google Street View imagery of site; "Former First Lutheran Church & School," LoopNet, March 17, 2008, <a href="http://www.loopnet.com/Listing/15616567/3119-W-6th-Street-Los-Angeles-CA/">http://www.loopnet.com/Listing/15616567/3119-W-6th-Street-Los-Angeles-CA/</a> (accessed December 19, 2017). According to Google Street View imagery from 2009 and 2011, New Life Oasis Church briefly occupied the site.

<sup>&</sup>lt;sup>39</sup> "History of NCA," New Covenant Academy, <a href="https://www.e-nca.org/ourhistory">https://www.e-nca.org/ourhistory</a> (accessed December 18, 2017); and aerial maps available at googlemaps.com. No information was found about New Life Oasis Church.

<sup>&</sup>lt;sup>40</sup> "History of NCA," New Covenant Academy, <a href="https://www.e-nca.org/ourhistory">https://www.e-nca.org/ourhistory</a> (accessed December 18, 2017). Based on Google Street View imagery, New Covenant Academy moved to the site in approximately 2011.

11.0 HISTORIC CONTEXT 27

The 1936 church building on the property at 550 S. Shatto Place was identified as eligible for historic designation by SurveyLA; it is therefore not re-evaluated here and is treated as a historical resource as defined by CEQA for purposes of this report. The two Mid-century Modern buildings on the Project Site were not identified as significant by SurveyLA; those buildings are evaluated in this report for potential historical significance using established guidelines and integrity thresholds for evaluating religious properties. Based on guidance from the National Park Service (see National Register Criterion Consideration A, section 6.0, above) "historic significance for a religious property cannot be established on the merits of a religious doctrine, but rather, for architectural or artistic values or for important historic or cultural forces that the property represents." 41 Religious properties must be evaluated in a purely secular context.

#### SurveyLA Context/Themes & Associated Eligibility Standards

Los Angeles' citywide historic context statement (HCS) provides the framework for identifying and evaluating the city's historic resources. The Office of Historic Resources has been the lead in the development of the HCS as part of SurveyLA.

The 1936 church building at 550 S. Shatto Place was identified as eligible for listing in the National Register of Historic Places, the California Register of Historical Resources, and as a City of Los Angeles Historic-Cultural Monument under the following context and theme by SurveyLA:42

Context: Architecture and Engineering, 1850-1980

Theme: Mediterranean and Indigenous Revival Architecture, 1887-1952 Sub-theme: Spanish Colonial Revival, 1915-1942

For a property to be eligible as an example of Spanish Colonial Revival style institutional architecture, it must meet the following eligibility standards:

- Exemplifies the character-defining features of the Spanish Colonial Revival style
- Is an excellent example of its type and/or the work of a significant architect or builder
- Originally designed for institutional uses<sup>43</sup>

<sup>&</sup>lt;sup>41</sup> National Register Bulletin 15.

<sup>42</sup> City of Los Angeles, SurveyLA: Historic Context Statement Outline, Revised July 2018.

<sup>43</sup> City of Los Angeles, Office of Historic Resources, Architecture and Engineering, 1850-1980 Eligibility Standards, 215.

The school buildings at 550 S. Shatto Place were not identified as potential historical resources by SurveyLA. They are evaluated in this report as examples of Mid-century Modern architecture, corresponding with the following context and theme in SurveyLA:

Context: Architecture and Engineering, 1850-1980

Sub-context: LA Modernism, 1919-1980 Theme: Postwar Modernism, 1946-1976

Sub-theme: Mid-Century Modern, 1945-1970

For a property to be eligible as an example of Mid-century Modern style institutional architecture, it must meet the following eligibility standards:

- Exhibit quality of design through distinctive features
- Retains the essential character defining features of Mid-century Modernism from the period of significance
- Was constructed during the period of significance<sup>44</sup>

HISTORIC RESOURCE ASSESSMENT REPORT

<sup>44</sup> City of Los Angeles, Office of Historic Resources, Architecture and Engineering, 1850-1980 Eligibility Standards, 476.

12.0 EVALUATION OF ELIGIBILITY 29

The former First English Lutheran Church, constructed in 1936, is treated as a historical resource as defined by CEQA and is not re-evaluated as part of this report. The two school buildings constructed in 1953 and 1964, are evaluated for potential eligibility for listing in the National Register of Historic Places, the California Register of Historical Resources, and as City of Los Angeles Historic-Cultural Monuments.

#### Criterion A/1/1 (association with events or patterns of development)

According to guidance from the National Park Service, in order to be considered eligible for designation for representing a pattern of development:

"...A property must be associated with one or more events important in the defined historic context. The event or trends, however, must clearly be important within the associated context: settlement, in the case of the town, or development of a maritime economy, in the case of the port city. Moreover, the property must have an important association with the event or historic trends, and it must retain historic integrity...Mere association with historic events or trends is not enough, in and of itself, to qualify under [this criterion]; the property's specific association must be considered important as well." 45

In addition, under National Register Criteria Consideration A, a religious property requires justification on architectural, artistic, or historic grounds to avoid any appearance of judgment by government about the validity of any religion or belief. Historic significance for a religious property cannot be established on the merits of a religious doctrine, but rather, for architectural or artistic values or for important historic or cultural forces that the property represents.

The former First English Lutheran Church congregation was initially established in Los Angeles in 1886; the Shatto Place property is the third sanctuary constructed for their use. According to Criteria Consideration A, the church building and/or the campus must have significance beyond its association with the Lutheran congregation in order to be eligible for historic designation.

The two classroom buildings were added to the site in 1953 and 1964. As individual examples of institutional development from the postwar period, the classroom buildings do not have an important association with the development patterns in the area, but

<sup>45</sup> National Park Service, *National Register Bulletin: How to Apply the National Register Criteria for Evaluation*, <a href="https://www.nps.gov/nr/publications/bulletins/nrb15/nrb15\_6.htm">https://www.nps.gov/nr/publications/bulletins/nrb15/nrb15\_6.htm</a>.

HISTORIC RESOURCE ASSESSMENT REPORT

550 S. Shatto Place, Los Angeles

rather generally reflect post-World War II expansion of institutions to serve the growing population in Southern California.

550 S. Shatto Place is located in what is now known as Koreatown. The development of the site does not coincide with the development of Koreatown as a Korean community. In addition, the individual buildings and the campus as a whole have only been specifically associated with the Korean community for approximately 10 years. Therefore, this association is too recent to convey potential historic significance at this time.

The 1953 and 1964 classroom buildings; and the campus as a whole did not have an important impact on local, state, or national history, and therefore do not meet the established eligibility standards for listing in the National Register of Historic Places, the California Register of Historical Resources, or as a City of Los Angeles Historic-Cultural Monument under Criterion A/1/1.

#### Criterion B/2/2 (association with an important person)

According to the National Park Service, properties may be eligible for an association with the lives of persons significant in our past: individuals whose activities are demonstrably important within a local, state, or national historic context. A property is not eligible if its only justification for significance is that it was owned or used by a person who is a member of an identifiable profession, class, or social or ethnic group. In addition, the property must be associated with a person's productive life, reflecting the time period when he or she achieved significance.

There is no evidence that the religious campus at 550 S. Shatto Place is associated with persons significant in our past. Though the church building was associated with the First English Lutheran Church from its construction in 1936 until approximately 2004, there is no evidence to suggest that leaders of the church or members of the congregation had a demonstrable impact on local, state, or national history or culture.

The New Covenant Academy was founded by Dr. Jason Song and Mrs. Kara Kim-Song in 1999 and moved its campus to the subject property in 2013. Because the academy was founded in the recent past, there is insufficient evidence to suggest its founders had a demonstrable impact on local, state, or national history or culture.

Therefore, neither the individual buildings nor the campus as a whole are eligible for listing in the National Register of Historic Places, the California Register of Historical Resources, or as a City of Los Angeles Historic-Cultural Monument under Criterion B/2/2.

#### Criterion C/3/3 (architectural merit or work of a master architect)

To be eligible under Criterion C/3/3 as an example of Mid-century Modern style architecture, the 1953 and 1964 classroom buildings must meet the following eligibility standards, as defined in SurveyLA:

- Exhibit quality of design through distinctive features
- Retains the essential character defining features of Mid-century Modernism from the period of significance
- Was constructed during the period of significance

The 1953 and 1964 classroom buildings were not identified as significant by SurveyLA. The two buildings are typical, undistinguished examples of institutional architecture of the period; they do not embody the distinctive characteristics of Mid-century Modern design; and they do not possess high artistic value. Little information is available about the careers and bodies of work of the two architects, J. A. Murrey and Philip M. Conkle, and neither is considered a master architect.

Therefore, the classroom buildings do not meet the eligibility standards delineated by SurveyLA for Mid-century Modern institutional buildings. Although they were constructed during the period of significance and retain the essential features from their original construction, they do not exhibit quality of design through distinctive features.

Therefore, the 1953 and 1964 classroom buildings are not eligible for listing in the National Register of Historic Places, the California Register of Historical Resources, or as City of Los Angeles Historic-Cultural Monuments under Criterion C/3/3.

#### Photographs of Identified and Evaluated Resources on the Project Site



View of south and east façades, facing northeast.



View of east façade, facing west.

HISTORIC RESOURCE ASSESSMENT REPORT

550 S. Shatto Place, Los Angeles



View of classroom additions, facing northwest.



Contextual view of  $550 \, \text{S}$ . Shatto Place from S. Shatto Place, facing southwest.

HISTORIC RESOURCE ASSESSMENT REPORT

550 S. Shatto Place, Los Angeles

The Project Site is located in the Wilshire Community Plan Area ("CPA") of Los Angeles. Two potential historical resources immediately adjacent to the Project Site at 3109 W. 6<sup>th</sup> Street and 523 S. Westmoreland Avenue were identified by SurveyLA; these are described below and indicated in the map in Figure 3. These two properties are therefore considered historical resources as defined by CEQA for purposes of this report.

#### 3109 W. 6th Street

3109 W. 6<sup>th</sup> Street is located immediately adjacent to the Project Site to the east. It is a two-story mixed-use building, designed in the Mediterranean Revival style and constructed in 1924. There is a cross-gabled roof clad in clay barrel tiles at the primary (south and east) façades, and a flat roof clad in built-up roofing at the rear. There are two partial-width recessed balconies at the second floor. The building is of masonry construction. The primary façades are clad in smooth plaster with brick accents at the second floor. Fenestration and storefronts have largely been replaced; two windows on the south façade have been infilled. The primary entrance is symmetrically located on south façade and consists of a pair of paneled wood doors beneath a decorative transom with wrought iron screen and decorative cast plaster surround.

3109 W. 6<sup>th</sup> Street was identified as a potential historical resource by SurveyLA during the survey of the Wilshire CPA. It was assigned the status code of 3CS, which is defined as "appears eligible for listing in the California Register of Historical Resources as an individual property through survey evaluation." It was evaluated under the "Commercial Development, 1850-1980" context and the "Streetcar Commercial Development, 1873-1934" theme as a "rare intact example of early commercial development located along a former streetcar line in the Wilshire area." 3109 W. 6<sup>th</sup> Street is therefore treated as a historical resource as defined by CEQA for the purposes of this report.

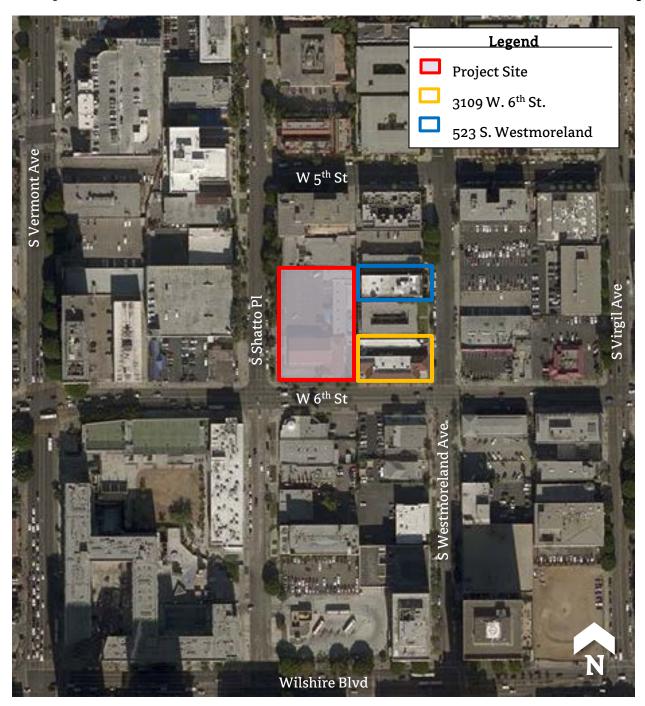
#### 523 S. Westmoreland Avenue

The San Mar Manor apartments, at 523 S. Westmoreland Avenue, is located immediately adjacent to the Project Site to the east. It is a four-story multi-family residential building, designed in the Tudor Revival style and constructed in 1925. There is a steeply-pitched cross-gable roof clad in slate shingles at the front of the building, and a flat roof with parapet clad in built-up roofing at the rear. The building is of masonry construction. The exterior walls of the first floor are clad in scored plaster, and the exterior walls on the remaining floors are exposed brick. There are cast plaster quoins, keystones, window surrounds, string course, and cornice. Fenestration consists primarily of divided-light six-over-one and one-over-one double-hung windows with

HISTORIC RESOURCE ASSESSMENT REPORT

brick lintels and cast stone keystones. The primary entrance is symmetrically located on the primary (east) façade and consists of a single glazed door with side lights, accessed from the sidewalk by a set of brick steps.

523 S. Westmoreland Avenue was identified as a potential historical resource by SurveyLA during the survey of the Wilshire CPA. It was assigned a status code of 3S, which is defined as "appears eligible for listing in the National Register of Historic Places as an individual property through survey evaluation." It was evaluated under the Residential Development and Suburbanization, 1850-1980 context and the "Multi-Family Residential, 1910-1980 theme as an "excellent example of a 1920s brick apartment house in the Wilshire area, exhibiting the essential characteristics of the type." 523 S. Westmoreland Avenue is therefore treated as a historical resource as defined by CEQA for the purposes of this report.



HISTORIC RESOURCE ASSESSMENT REPORT

550 S. Shatto Place, Los Angeles



3901 W. 6<sup>th</sup> Street, view facing northwest.



523 S. Westmoreland Ave., view facing west.

HISTORIC RESOURCE ASSESSMENT REPORT

550 S. Shatto Place, Los Angeles

HISTORIC RESOURCES GROUP

The State Legislature, in enacting the California Register, amended CEQA to clarify which properties are significant, as well as which project impacts are considered to be significantly adverse.

A project with an effect that may cause a substantial adverse change in the significance of a historic resource is a project that may have a significant effect on the environment.46 A substantial adverse change in the significance of a historic resource means demolition, destruction, relocation, or alteration of the resource or its immediate surroundings such that the significance of a historical resource would be materially impaired. 47

The CEQA Guidelines further state that "[t]he significance of an historic resource is materially impaired when a project... [d]emolishes or materially alters in an adverse manner those physical characteristics of an historical resource that convey its historical significance and that justify its inclusion in, or eligibility for, inclusion in the California Register of Historical Resources... local register of historic resources... or its identification in a historic resources survey." 48

## **Potential Impacts on the Project Site**

## Potential Impacts from Demolition

The Project will demolish the two classroom buildings, constructed in 1953 and 1964, located on the Project Site to the north of the church building. Neither of these buildings was identified by SurveyLA as significant and, as demonstrated in the analysis in Section 12.0 of this Report, neither is eligible for listing in the National Register, the California Register, or as a City of Los Angeles Historic-Cultural Monument. The two buildings are typical, undistinguished examples of institutional architecture of the period; they do not embody the distinctive characteristics of Mid-century Modern design; and they do not possess high artistic value. They reflect trends in school design from the period, but do not represent an important association with postwar institutional development. Therefore, their demolition does not represent a substantial adverse change such that the significance of a historical resource would be materially impaired.

## Potential Impacts from New Construction

The Project will construct a new 31-story, mixed-use high-rise tower adjacent to the existing church building at 550 S. Shatto Place. The proposed new construction is not considered an "addition" to the church building because it is conceived and designed as

- 46 CEQA Guidelines, section 15064.5(b).
- <sup>47</sup> CEQA Guidelines, section 15064.5(b)(1). <sup>48</sup> CEQA Guidelines, section 15064.5(b)(2).

### HISTORIC RESOURCE ASSESSMENT REPORT

a building separate and distinct from the church building; it will be structurally independent, and it will read as a separate building when encountered from the public right-of-way. After implementation of the Project, the shape and form of the adjacent church building will remain intact and its architectural features will remain viewable and understandable from the exterior.

The Project does involve new construction that would alter the immediate surroundings of the 1936 church building. As discussed above, the significance of an historical resource is materially impaired, and constitutes a substantial adverse change in the significance of that historical resource, if the project would materially alter the immediate surroundings of the historical resource such that (a) it could no longer be listed in, or be eligible for listing in, the California Register, or (b) it could no longer be included in a local register of historical resources or identified as an historical resource in an historical resource survey.49

Because the Project would add height and density on a parcel that is currently occupied by low-rise, low-density development, the immediate surroundings of the adjacent church building would be altered. In order for this alteration to be considered a substantial adverse change, however, it must be shown that the integrity and/or significance of the historical resource would be *materially impaired* by the proposed alteration. A resource is not materially impaired unless it is altered in an adverse manner to the point that its physical characteristics fail to convey its historical significance.<sup>50</sup>

As noted above in this report, the ability of an historical resource to convey its significance is based on an analysis of its historic integrity. The National Park Service identifies seven aspects of historic integrity: *location, design, setting, materials, workmanship, feeling, and association*.

Alteration to the surroundings of adjacent historical resources that adversely affects the integrity of those historical resources can potentially constitute a substantial adverse change in those resources. The seven aspects of integrity are used below to analyze the alteration to the immediate surroundings of the former First English Evangelical Lutheran Church.

SurveyLA identified the 1936 Church building as historically significant for its Spanish Colonial Revival architecture. The Project's construction of an adjacent, 31-story mixed-used tower will not affect the integrity of *location*, *design*, *materials*, *or workmanship* of

<sup>49</sup> CEQA Guidelines, section 15064.5(b) (1).

<sup>50</sup> CEQA Guidelines, section 15064.5(b) (1).

the Church building; the building will remain intact in its current location. Therefore, integrity of *feeling* will also remain unaffected by the Project because all the existing physical elements that characterize the Church building will continue to convey the property's historic significance after construction of the Project.

The Church building does not derive significance from association with any persons or events. Therefore, integrity of *association* is not relevant to this analysis.

The only aspect of the Church building's integrity that is potentially affected by the Project is *setting*. The Project will occupy the northern portion of the property on which the Church is located and will construct a 31-story high-rise tower, more than fifteen times as tall as the two-story Church building. The immediate environs of the Church will be considerably altered on its north side, thus altering the property's integrity of *setting*.

However, the Church was identified as significant for its Spanish Colonial Revival architecture, which is expressed primarily on the west and south façades, facing Shatto Place and 6<sup>th</sup> Street respectively. The Project will have no impact on these façades, and the Church's Spanish Colonial Revival architecture will remain unaltered. The building's setting is therefore not critical to understanding the property's history and significance.

According to National Park Service guidance, "to retain historic integrity a property will always possess several, and usually most, of the (seven) aspects" of integrity.<sup>51</sup> After the Project is constructed, the former First English Evangelical Lutheran Church will retain integrity of *location, design, materials, workmanship*, and *feeling*. Integrity of *setting* will be altered by the new construction.

Therefore, all but one of the relevant aspects of integrity will be unaffected by the Project, so that the historic integrity of the Church building will be retained. While the Project will alter the setting of the Church, it will not materially impair the building such that it can no longer convey any potential historic significance. After construction of the Project, the building's Spanish Colonial Revival architecture will remain intact, and the property would remain eligible for historic designation as identified in SurveyLA.

The Project will excavate for a four-level subterranean parking structure adjacent to the existing church building. The Project therefore does have the potential to impact the structural integrity of the adjacent church building through excavation and construction procedures. Absent specific mitigation measures to ensure the proper protection and treatment of the church during demolition, excavation and construction, there is a

51 National Register Bulletin 15, 44.

HISTORIC RESOURCE ASSESSMENT REPORT

potential for significant impacts. However, with the implementation of appropriate mitigation as recommended in Section 15, the potential for impacts to the church during construction is reduced to less than significant as defined by CEQA.

## Potential Impacts from Alteration

The Project will rehabilitate the former First English Evangelical Lutheran Church building for new use as restaurant space. The rehabilitation would include the addition of an elevator and small lobby on the north façade, to provide access to the second floor; the addition of a new access ramp leading from the sidewalk on Shatto Place to new accessible entrance/egress doors on the north façade; the addition of wide bifolding glass doors between the buttresses on the south façade, to open the former sanctuary to the arcade and new dining patio; replacement of the existing paneled wood doors at the main entrance with new glass doors (the original doors will be stored on site); replacement of the existing stained glass with new stained glass in a new pattern, within the existing window sash; the addition of two new windows at the second story on the south façade; the addition of two new windows and a storefront opening on the east façade; the replacement of two pairs of wood doors on the east façade with glass doors; the addition of two skylights on the east side of the roof; and the addition of two skylights on the north side of the roof. The conversion to restaurant space also requires the addition of mechanical equipment at the ground level of the east façade; and the addition of intake and exhaust vents at the north and east facades. The Project will also add a gateway at the southeast corner of the church building, along 6th Street. The gateway will be constructed of metal and glass and will include a stainedglass screen that wraps the southeast corner of the church building at the second story.

The elevator and lobby addition is located near the rear of a secondary façade, and thus will be minimally visible from the public right-of-way. It will be proportionally small in size, in comparison to the church building; it will be lower in height than the roof ridge of the former sanctuary; and it will be minimalist in design. The proposed new access ramp and accessible doors on the secondary north façade would provide needed accessibility to the church building, while allowing the primary entrance to remain unaltered. Providing an accessible entrance at the primary façade would require the complete reconstruction of the existing entrance steps in order to allow sufficient space for an accessible landing on the front façade; therefore, the proposed plan for a new accessible entrance on the north façade is the preferred solution for providing access to the building.<sup>52</sup> The added skylights on the north side of the roof are on a secondary

<sup>52</sup> The proposed new entrance door on the secondary north façade is located less than 200 feet from the primary entrance, and therefore complies with Section 8-603.2 of the 2016 California Historical Building Code.

HISTORIC RESOURCE ASSESSMENT REPORT

façade that will not be highly visible from the public right-of-way. The doors will be minimalist in design and will be aligned with the existing clerestory windows above and will retain the high wall-to-opening ratio of the church's original design.

The added bi-fold doors on the south façade will maintain the rhythm of the sanctuary's bays between the existing buttresses, although they will pierce a formerly blank wall. The doors will be largely concealed from view of the public right-of-way by the existing arcade that runs along the sanctuary's south façade, so the overall appearance of the church building will remain intact. The existing paneled wood entrance doors will be replaced but will be stored on-site for future re-use; the new glass doors will be minimalist in design do differentiate them from the original building. Similarly, the existing steel sash windows will be retained; the existing stained glass will be removed and stored on site. New stained glass will be installed, in a contemporary but compatible design that is better-suited to the building's new use. The existence and condition of the rose window and tympanum will be verified during construction; if they are extant and intact, they will be retained.

The added windows on the south and east façades of the two-story portion of the building will maintain the pattern of the original openings, but will be differentiated by their simple single-light design. Those on the east façade, together with the added skylights and replaced doors, will be located on the back of the building and will be minimally visible, if at all, from the public-right-of way.

The required mechanical equipment for the restaurant use be will housed at ground level at the east façade. This location is preferred and appropriate, as the east façade is the rear of the building, and the equipment will therefore not affect any significant exterior character-defining features and will not be visible from the public right-of-way. This approach will allow the roof to remain free of mechanical equipment, where it would have been more visible from the street and neighboring properties, and it would have required additional openings and alterations on the historic roof. The required intake and exhaust vents will be located on the east and north façades. There are code and practical requirements that limit where these vents can be located; their placement has been carefully considered to minimize impacts to the exterior of the building while meeting code requirements. There will be one intake louver and two exhaust louvers located on the east façade. This is the rear façade of the building, and therefore those openings will not impact significant exterior character-defining features and will not be visible from the public right-of-way. The exhaust louvers will be located adjacent to window openings, to maintain the rhythm of solid to void as much as possible. The intake louver will be located behind the railing for the new exterior stair, minimizing its visibility. On the north façade, the exhaust louvers will be located at the third bay, just

under the roofline. They will be painted to match the exterior of the building and will be minimally visible. The intake louvers will be located above the two new doors in the fourth and fifth bays, simulating the appearance of transom windows. The addition of these vents on the north façade will not impact significant character-defining features and will be minimally visible from the public right-of-way.

The proposed glass-and-metal gateway at the southeast corner of the Church building will be located on secondary façades and will not alter the primary façade of the building. The gateway will be additive in nature and reversible and will not alter any existing features of the Church building. It will be minimalist in design so as to be both differentiated from, and subordinate to, the Church building.

The proposed alterations will thus minimally alter the appearance of the former church building as viewed from the public right-of-way. The building's Spanish Colonial Revival architecture will remain intact, and it will retain integrity of *location*, *design*, *materials*, *workmanship* and *feeling*.

## Potential Impacts to Historical Resources Adjacent to the Project Site

There are two potential historical resources in the immediate Project vicinity. These are 3109 W. 6<sup>th</sup> Street and 523 S. Westmoreland Avenue, located immediately to the east of the Project Site. Because the Project would add height and density on parcels that are currently developed with low-scale institutional buildings, the immediate surroundings of the adjacent potential historical resources identified would be altered. In order for this alteration to be considered a substantial adverse change, however, it must be shown that the integrity and/or significance of the historical resources would be *materially impaired* by the proposed alteration. A resource is not materially impaired unless it is altered in an adverse manner to the point that its physical characteristics fail to convey its historical significance.<sup>53</sup>

As noted earlier in this report, the ability of an historical resource to convey its significance is based on an analysis of its historic integrity. The National Park Service identifies seven aspects of historic integrity: *location, design, setting, materials, workmanship, feeling, and association.* 

Alteration to the surroundings of adjacent historical resources that adversely affects the integrity of those historical resources can potentially constitute a substantial adverse change in those resources. The seven aspects of integrity are used below to analyze the

53 CEQA Guidelines, section 15064.5(b) (1).

HISTORIC RESOURCE ASSESSMENT REPORT

alteration to the immediate surroundings of each of the potentially affected historical resources identified in this report.

The mixed-use building at 3109 W. 6<sup>th</sup> Street was identified as historically significant as an example of early commercial development located along a former streetcar line in the Wilshire area. It was identified during the Wilshire CPA phase of SurveyLA and found eligible for listing in the California Register of Historic Places as a potential individual resource.

The only aspect of the building's integrity that is potentially affected by the Project is *setting*. The Project will occupy a portion of a parcel which is immediately adjacent to 3109 W. 6<sup>th</sup> Street. The Project will demolish the two classroom buildings constructed in 1953 and 1964 located on the Project Site to the north of the church building and construct a high-rise tower of approximately 31 stories, adding considerable height to the immediate surroundings of the two-story commercial and residential building. The immediate environs of 3109 W. 6<sup>th</sup> Street will be considerably altered on its western boundary, altering the property's integrity of *setting*.

However, 3109 W. 6<sup>th</sup> Street is significant for its historic character as a commercial building constructed along a former streetcar line, which is expressed on the south (primary) façade, facing W. 6<sup>th</sup> Street. The Project will have no impact on this façade or the building's orientation toward the street. The west and north façades, which will face the proposed new construction, are unornamented and historically intended to be adjacent to another building or to function as utilitarian, rear façades. The building's setting at its westward boundary is therefore not critical to understanding the property's history and significance.

Therefore, all but one of the relevant aspects of integrity will be unaffected by the Project, so that the historic integrity of the mixed-use building at 3109 W. 6<sup>th</sup> Street will be retained. While the Project will alter the setting of 3109 W. 6<sup>th</sup> Street, it will not materially impair the building such that it can no longer convey its historic significance. After completion of the Project, 3109 W. 6<sup>th</sup> Street's historic orientation toward W. 6<sup>th</sup> Street and its location along a former streetcar line will remain intact, and the property will remain eligible for historic designation as identified in SurveyLA.

The multi-family residential building at 523 S. Westmoreland Avenue was identified as historically significant as an example of a 1920s brick apartment house in the Wilshire area. It was identified during the Wilshire CPA phase of SurveyLA and found eligible for listing in the National Register of Historic Places as a potential individual resource.

The only aspect of the building's integrity that is potentially affected by the Project is *setting*. The Project will occupy a portion of a parcel which is immediately adjacent to 523 S. Westmoreland Avenue. The Project will demolish the two classroom buildings, constructed in 1953 and 1964, located on the Project Site to the north of the church building and construct a high-rise tower of approximately 31 stories, adding considerable height to the immediate surroundings of the four-story apartment building. The immediate environs of 523 S. Westmoreland Avenue will be considerably altered on its western boundary, altering the property's integrity of *setting*.

However, 523 S. Westmoreland Avenue is significant for its historic character as a brick apartment house. The building's design features are expressed primarily on its east (primary) façade, facing S. Westmoreland Avenue. The Project will have no impact on this façade or the building's historic character as a brick apartment building. The west façade, which will face the proposed new construction, is unornamented and historically intended to function as a utilitarian, rear façade. The building's setting is therefore not critical to understanding the property's history and significance.

Therefore, all but one of the relevant aspects of integrity will be unaffected by the Project, so that the historic integrity of the apartment building at 523 S. Westmoreland Avenue will be retained. While the Project will alter the setting of 523 S. Westmoreland Avenue, it will not materially impair the building such that it can no longer convey its historic significance. After construction of the Project, the apartment building's historic character as a brick apartment house will remain intact, and the property will remain eligible for historic designation as identified by SurveyLA.

As discussed above, the significance of an historical resource is materially impaired, and constitutes a substantial adverse change in the significance of that historical resource, if the project would materially alter the immediate surroundings of the historical resource such that (a) it could no longer be listed in, or be eligible for listing in, the California Register, or (b) it could no longer be included in a local register of historical resources or identified as an historical resource in an historical resource survey.<sup>54</sup> The proposed Project would not alter the immediate surroundings of any historical resources in the vicinity of the Project Site such that they could no longer convey their historic significance.

The Project will excavate for a four-level subterranean parking structure, and therefore does have the potential to impact the structural integrity of the adjacent historical resources through excavation and construction procedures. Absent specific mitigation

54 CEQA Guidelines, section 15064.5(b) (1).

HISTORIC RESOURCE ASSESSMENT REPORT

550 S. Shatto Place, Los Angeles

measures to ensure the proper protection and treatment of the adjacent historical resources during demolition, excavation and construction, there is a potential for significant impacts. However, with the implementation of appropriate mitigation as recommended in Section 15, the potential for impacts to the buildings during construction is reduced to less than significant as defined by CEQA.

## 15.0 RECOMMENDED MITIGATION MEASURE

Prior to the issuance of grading permits, the Applicant will provide a shoring plan prepared by a qualified structural engineer who meets the relevant Secretary of the Interior's Professional Standards, for review and approval by the City of Los Angeles. The shoring plan will ensure the protection of the 1936 church on the Project Site, as well as the potential historical resources adjacent to the Project Site at 3109 W. 6<sup>th</sup> Street and 523 S. Westmoreland Avenue, during construction.

With the implementation of the recommended mitigation measure, the Project will not result in significant adverse impacts to potential historical resources on the Project Site or in the immediate Project vicinity as defined by CEQA.

16.0 SOURCES 47

2011 California Environmental Quality Act (CEQA) Statute and Guidelines, California Association of Environmental Professionals, www.califaep.org

- Architectural Resources Group, Inc. SurveyLA: Historic Resources Survey Report: Wilshire Community Plan Area. Prepared for City of Los Angeles, Department of City Planning, Office of Historic Resources. January 23, 2015.
- California Historical Resources Inventory. August 15, 2011.
- California Public Resources Code (Sections 21000-21177).
- California Code of Regulations, (Title 14, Division 6, Chapter 3, Sections 15000-15387).
- City of Los Angeles Building Permits. Department of Building and Safety.
- City of Los Angeles, Department of City Planning. "Context: Korean Americans in Los Angeles." In *SurveyLA: Los Angeles Historic Resources Survey Project, Draft Historic Context Statement.* September 2017.
- City of Los Angeles, Department of City Planning. SurveyLA: Los Angeles Historic Resources Survey Project, Historic Context Outline. Revised July 2018.
- City of Los Angeles Office of Historic Resources website, http://www.preservation.lacity.org/monuments
- Code of Federal Regulations, (Title 36, Part 60)
- Cultural Heritage Ordinance: Section 22.120 et. seq. of the Administrative Code. Department of City Planning, Los Angeles, California.
- "Church Building." Southwest Builder & Contractor. July 31, 1936.
- "Former First Lutheran Church & School." LoopNet. March 17, 2008. http://www.loopnet.com/Listing/15616567/3119-W-6th-Street-Los-Angeles-CA/. Accessed December 19, 2017.
- Historic aerial photographs. Historicaerials.com.
- Historic Resources Inventory, California State Office of Historic Preservation, August 2011.
- "History of NCA." New Covenant Academy. https://www.e-nca.org/ourhistory. Accessed December 18, 2017.
- "Important Property Purchase Announced." Los Angeles Times. August 2, 1936.

- Kim, Hak-Hoon. "Residential Patterns and Mobility of Koreans in Los Angeles County." Master's thesis. California State University, Los Angeles. 1986.
- Min, Pyong Gap. "Korean Immigrants in Los Angeles." *California Immigrants in World Perspective: The Conference Papers.* Institute for Social Science Research, University of California, Los Angeles: April 1990.
- "New Edifice to Replace Pioneer Structure." Los Angeles Times. August 2, 1936.
- "Old Church Site Bought." Los Angeles Times. July 30, 1936.
- PCR Services Corporation. *Intensive Historic Resources Survey of the Wilshire Center and Koreatown Recovery Redevelopment Area.* Prepared for Community Redevelopment Agency, City of Los Angeles. June 2009.

Sanborn Fire Insurance maps. 1950, 1954.

- Secretary of the Interior's Standards for Rehabilitation. http://www.cr.nps.gov/hps/tps/tax/rhb/stand.htm, 18 September 2008.
- U.S. Department of the Interior. "National Register Bulletin 16: How to Complete the National Register Registration Form." Washington, D.C.: National Park Service, 1997.
- U.S. Department of the Interior. "National Register Bulletin 15: How to Apply the National Register Criteria for Evaluation." Washington D.C.: National Park Service, 1995.

## APPENDIX A - HISTORIC IMAGE

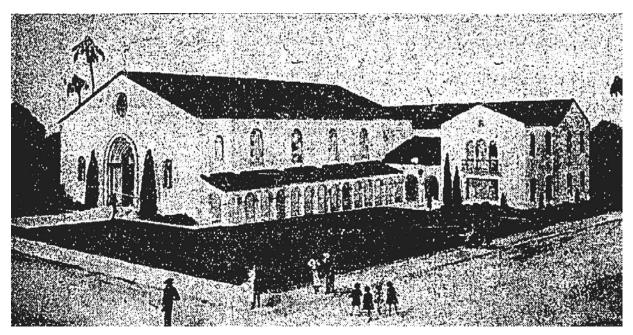
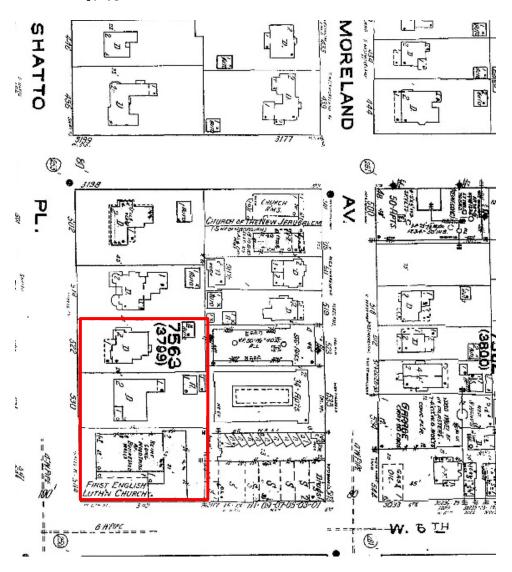


Image described as a "rendering" of First English Evangelical Lutheran Church, 1936. Source: "New Edifice to Replace Pioneer Structure," Los Angeles Times, August 2, 1936.

## APPENDIX B - SANBORN FIRE INSURANCE MAPS

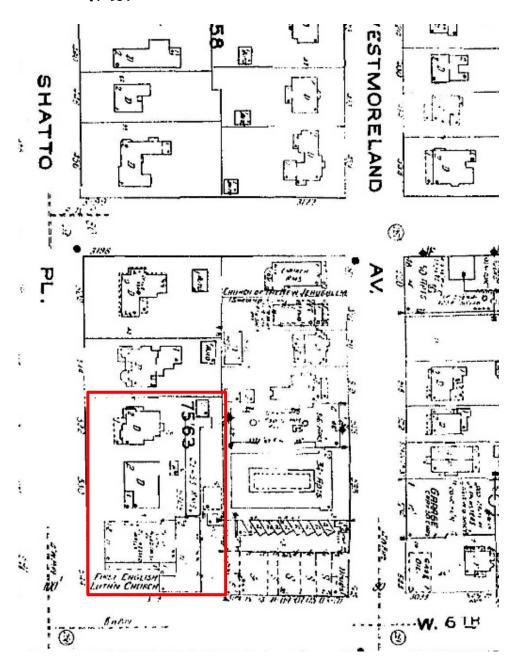
## Sanborn Map, 1950



HISTORIC RESOURCE ASSESSMENT REPORT

550 S. Shatto Place, Los Angeles

## Sanborn Map, 1954



HISTORIC RESOURCE ASSESSMENT REPORT

550 S. Shatto Place, Los Angeles

APPENDIX C - SOUTH CENTRAL COASTAL INFORMATION CENTER SEARCH RESULTS

## **South Central Coastal Information Center**

California State University, Fullerton Department of Anthropology MH-426 800 North State College Boulevard Fullerton, CA 92834-6846 657.278.5395 / FAX 657.278.5542 sccic@fullerton.edu

California Historical Resources Information System Orange, Los Angeles, San Bernardino, and Ventura Counties

10/18/2018 Records Search File No.: 19501.5476

Molly Iker-Johnson Historic Resources Group 12 S. Fair Oaks Ave, Suite 200 Pasadena, CA 91105-3816

Re: Records Search Results for the 17-0256

Resources within project area: 0

The South Central Coastal Information Center received your records search request for the project area referenced above, located on the Hollywood, CA USGS 7.5' quadrangle. The following reflects the results of the records search for the project area and a no radius:

None

As indicated on the data request form, no map with locations of resources and reports was provided.

Resources listed in the OHP Historic Properties		None			
Directory within project area: 0					
Reports within project area: 0		None			
Resource Database Printout (list):	$\square$ encl	osed	$oxed{\boxtimes}$ not requested	$\square$ nothing listed	
Resource Database Printout (details):	$\square$ encl	osed	$\square$ not requested	oxtimes nothing listed	
Resource Digital Database (spreadsheet):	$\square$ encl	osed	$oxed{\boxtimes}$ not requested	$\square$ nothing listed	
Report Database Printout (list):	$\square$ encl	osed	$oxed{\boxtimes}$ not requested	$\square$ nothing listed	
Report Database Printout (details):	$\square$ encl	osed	$\square$ not requested	⋈ nothing listed	
Report Digital Database (spreadsheet):	$\square$ encl	osed	oxtimes not requested	$\square$ nothing listed	
Resource Record Copies:	$\square$ encl	osed	oxtimes not requested	$\square$ nothing listed	
Report Copies:	$\square$ encl	osed	oxtimes not requested	$\square$ nothing listed	
OHP Historic Properties Directory:	$\square$ encl	osed	$\square$ not requested	oxtimes nothing listed	
Archaeological Determinations of Eligibility:	$\square$ encl	osed	$\square$ not requested	oxtimes nothing listed	
Los Angeles Historic-Cultural Monuments	$\square$ encl	osed	$\square$ not requested	oxtimes nothing listed	
Historical Maps:	$\square$ encl	osed	oxtimes not requested	$\square$ nothing listed	
Ethnographic Information:	☑ not available at SCCIC				
Historical Literature:	☑ not available at SCCIC				
GLO and/or Rancho Plat Maps:	☑ not available at SCCIC				
Caltrans Bridge Survey	☑ not available at SCCIC: please go to				

http://www.dot.ca.gov/hq/structur/strmaint/historic.htm

Shipwreck Inventory: 

⊠ not available at SCCIC; please go to

http://shipwrecks.slc.ca.gov/ShipwrecksDatabase/Shipwrecks Database.asp

Soil Survey Maps: (see below) ⊠ not available at SCCIC; please go to

http://websoilsurvey.nrcs.usda.gov/app/WebSoilSurvey.aspx

Please forward a copy of any resulting reports from this project to the office as soon as possible. Due to the sensitive nature of archaeological site location data, we ask that you do not include resource location maps and resource location descriptions in your report if the report is for public distribution. If you have any questions regarding the results presented herein, please contact the office at the phone number listed above.

The provision of CHRIS Data via this records search response does not in any way constitute public disclosure of records otherwise exempt from disclosure under the California Public Records Act or any other law, including, but not limited to, records related to archeological site information maintained by or on behalf of, or in the possession of, the State of California, Department of Parks and Recreation, State Historic Preservation Officer, Office of Historic Preservation, or the State Historical Resources Commission.

Due to processing delays and other factors, not all of the historical resource reports and resource records that have been submitted to the Office of Historic Preservation are available via this records search. Additional information may be available through the federal, state, and local agencies that produced or paid for historical resource management work in the search area. Additionally, Native American tribes have historical resource information not in the CHRIS Inventory, and you should contact the California Native American Heritage Commission for information on local/regional tribal contacts.

Should you require any additional information for the above referenced project, reference the record search number listed above when making inquiries. Requests made after initial invoicing will result in the preparation of a separate invoice.

Thank you for using the California Historical Resources Information System,

Michelle Galaz Assistant Coordinator

Enclosures:

(X) Invoice #19501.5476

APPENDIX D - RESUMES OF AUTHORS/CONTRIBUTORS

# HISTORIC RESOURCES GROUP

Years of Experience: 15

#### Education

Master of Heritage Conservation University of Southern California

Bachelor of Arts, Art History Pennsylvania State University

#### **Professional Affiliations**

Los Angeles Conservancy
California Preservation Foundation

National Trust for Historic Preservation

Docomomo US

## **CHRISTINE LAZZARETTO**

## **MANAGING PRINCIPAL**

## **Experience Profile**

Christine Lazzaretto is an Architectural Historian with 15 years of experience in historic preservation in Southern California. Christine joined Historic Resources Group in 2008 and became Managing Principal in 2018. At HRG, Christine works on environmental review, policy development, historic resources surveys, historic context statements, and federal tax credit projects. She has worked on numerous large-scale historic resources surveys, authored a wide range of historic context statements and successful National Register nominations. Her deep understanding of CEQA principles, significance, context and environmental impacts make her a leading expert in cultural resources analysis for environmental review. Christine also manages teams of professional colleagues on large-scale planning efforts.

Selected projects include: Citywide surveys for Beverly Hills, Los Angeles, Modernism in Riverside; Context Statements for City of Pasadena Recent Past, Paso Robles, San Luis Obispo, Beverly Hills, South Pasadena; City of Long Beach Historic Preservation Element; National Register nomination for the University of Southern California; Forum historic tax credit project; Master Plan for University of Southern California.

Prior to joining HRG, Christine worked at Pasadena Heritage as Preservation Director and Program Director, where her responsibilities included administering the Preservation Easement Program; assisting with advocacy efforts; attending local hearings and advising neighborhood groups on preservation issues; conceiving, organizing and implementing all of the organization's highly successful educational tours and programs.

Christine serves on the Board of Trustees of the California Preservation Foundation; she is the Vice-President of the Southern California chapter of Docomomo\_US; and she is a lecturer in the University of Southern California Heritage Conservation summer program.

Christine Lazzaretto meets the Secretary of the Interior's Professional Qualifications Standards in History and Architectural History.

#### Selected Project Experience

City of Palm Springs Citywide Survey City of Santa Monica Citywide Survey Update Forum Rehabilitation and Historic Tax Credit Project Paramount Pictures Master Plan, Los Angeles South Glendale Survey SurveyLA, City of Los Angeles Citywide Survey University of Southern California Consulting Services

# HISTORIC RESOURCES GROUP

Years of Experience: 30

Professional License
California Architect C24223

#### Education

Master's Degree, Historic Preservation, University of Southern California, Los Angeles, CA

Bachelor of Architecture, University of Southern California

#### **Professional Affiliations**

American Institute of Architects Glendale Historical Society

• President, 2008-2011

## JOHN LOCASCIO, AIA

## **PRINCIPAL**

## **Experience Profile**

A licensed, practicing architect for 25 years, John has been involved with historic preservation for 15 years and working at HRG for 6 years.

John's areas of focus at HRG include historic architecture and technology, building conservation, historic structure reports, and federal historic rehabilitation tax credit projects. He provides technical assistance for construction documents, advises on compliance with the Secretary of the Interior's Standards and the use of the State Historic Building Code, provides construction monitoring, and paint and materials sampling and analysis services.

John has worked on a wide variety of projects involving historic buildings and structures in Southern California, including CBS Columbia Square, Grand Central Air Terminal in Glendale, the Academy of Motion Pictures Museum, Los Angeles International Airport, Hotel Constance, Los Angeles Forum, University of Southern California, numerous LAUSD campus modernization projects, and the 28th Street YMCA.

Prior to joining HRG, John served as Executive Director of Claremont Heritage, including reviewing environmental documents and advising the City of Claremont on planning and design issues. John also worked for 14 years as a project architect in private practice, specializing in custom residential projects.

John LoCascio meets the Secretary of the Interior's Professional Qualifications Standards in Architecture and Historic Architecture.

#### Selected Project Experience

28th Street YMCA, Los Angeles
Academy Museum of Motion Pictures, Hollywood
CBS Columbia Square, Hollywood
Constance Hotel, Pasadena
Grand Central Air Terminal, Glendale
Forum, Inglewood
Los Angeles International Airport
Painted Desert Visitors' Center, Arizona
University of Southern California
Venice High School Modernization, Los Angeles

# HISTORIC RESOURCES GROUP

Years of Experience: 4

#### Education

Master of Arts, Historic Preservation, University of Delaware, Newark, 2015

Bachelor of Arts, History and Bachelor of Music in Instrumental Performance, Chapman University, Orange, CA, 2013

## Professional Affiliations

Los Angeles Conservancy

Vernacular Architecture Forum

## **MOLLY IKER-JOHNSON**

## **ASSOCIATE ARCHITECTURAL HISTORIAN**

**Experience Profile** 

**Molly Iker-Johnson** is an Associate Architectural Historian at Historic Resources Group. She has a Bachelor of Arts in History and a Bachelor of Music in Instrumental Performance from Chapman University and a Master of Arts in Historic Preservation from the University of Delaware. She has been with Historic Resources Group since 2014.

Prior to joining HRG, Molly worked as a Graduate Research Assistant for the Center for Historic Architecture and Design, a historic preservation organization located at the University of Delaware. Her responsibilities included assisting with large-format rephotography of early 20<sup>th</sup> century photographs taken by Delaware seed analyst Roydon Hammond, aiding in the compilation of lists of historically significant sites along Delaware's Byways, and creating photographic databases of historic sites along Delaware's Byways and Newark, Delaware's Main Street. She also worked for such organizations as Chapman University's Honors Program and CBS' Consumer Products division. At HRG, Molly works on historic resources surveys, historic context statements, historic assessments, and National Register nominations. She has worked on several large-scale historic resources surveys, including Citywide survey updates in Palm Springs, South Pasadena, and Santa Monica.

Molly Iker-Johnson meets the *Secretary of the Interior's Professional Qualifications Standards* in History and Architectural History.

# Project Team

# APPLICANT

TF Shatto LP

11400 W. Olympic Blvd, Suite 850 Los Angeles, CA 90064 TEL: 310 427-7432

# ARCHITECT

Chris Dikeakos Architectural Corp.

301-315 West 9th Street Los Angeles, CA 90015 TEL: 213 550-0889

# STRUCTURAL Glotman Simpson Consulting Engineers

600 Wilshire Blvd, Suite 650 Los Angeles, CA 90017 TEL: 213 283-2313

# MECH PLUMB ELEC GreenMEP

3 MacArthur Place, Suite 855 Santa Ana, CA 92702 TEL: 949 232-1919

# LANDSCAPE ARCHITECT Connect Landscape Architecture

2305 Hemlock St Vancouver, BC V6H 2V1 TEL: 604 681-3303

## CIVIL

Brandow & Johnston

700 S. Flower Street, Suite 1800 Los Angeles, CA 90017 TEL: 213 596-4550

## TRAFFIC

Gibson Transportation Consulting Inc

555 W 5th Street, Suite 3375 Los Angeles, CA 90013 TEL: 213 683-0088

# LAND USE CONSULTANT

Irvine & Associates Inc

633 West 5th Street, Suite 3200 Los Angeles, CA 90071 TEL: 213 437-3403

# LEGAL COUNSEL

**DLA Piper** 

550 S. Hope Street, Suite 2400 Los Angeles, CA 90071 TEL: 213 694-3115

# PERMIT EXPEDITOR

Haas Consulting Group Inc

20280 South Vermont Avenue, Suite 125 Torrance, CA 90502 TEL: 310 515-0415

# **Drawing List**

## PROJECT INFORMATION

A1.00 Project Description

A1.01 Plot Plan

A1.02 Project Data

A1.03 Aerial Context View

A1.04 Context Plan

A1.05 Aerial Street Views

A1.06 Land Title Survey

A1.07 Site Plan/Street Sections

## 2 PLANS

A2.00 P4 Parking Plan
A2.01 P3 Parking Plan
A2.02 P2 Parking Plan
A2.03 P1 Parking Plan
A2.04 L1 Floor Plan
A2.05 L2 Floor Plan
A2.06 L3 Floor Plan
A2.07 L4 & L5 Floor Plans
A2.08 L6 & L7-27 Floor Plans
A2.09 L28 & L29 penthouse Floor Plans
A2.10 L32 Mech Roof & Roof Plans

## 03 ELEVATIONS

A3.00 West Elevation
A3.01 East Elevation
A3.02 North Elevation
A3.03 South Elevation
A3.04 Existing Building - North & South Elevations/Photographs
Existing Building - West & East Elevations/Photographs

## 04 BUILDING SECTIONS

A4.00 Section A - A
A4.01 Section B - B
A4.02 Section A,B,C

## 05 RENDERINGS

A5.00 Artist's Sketch of Shatto Place & W 6th Street

A5.01 View of Southwest Corner at Shatto Pl & W 6th Street

A5.02 Street Views

# 06 OPEN SPACE DIAGRAMS

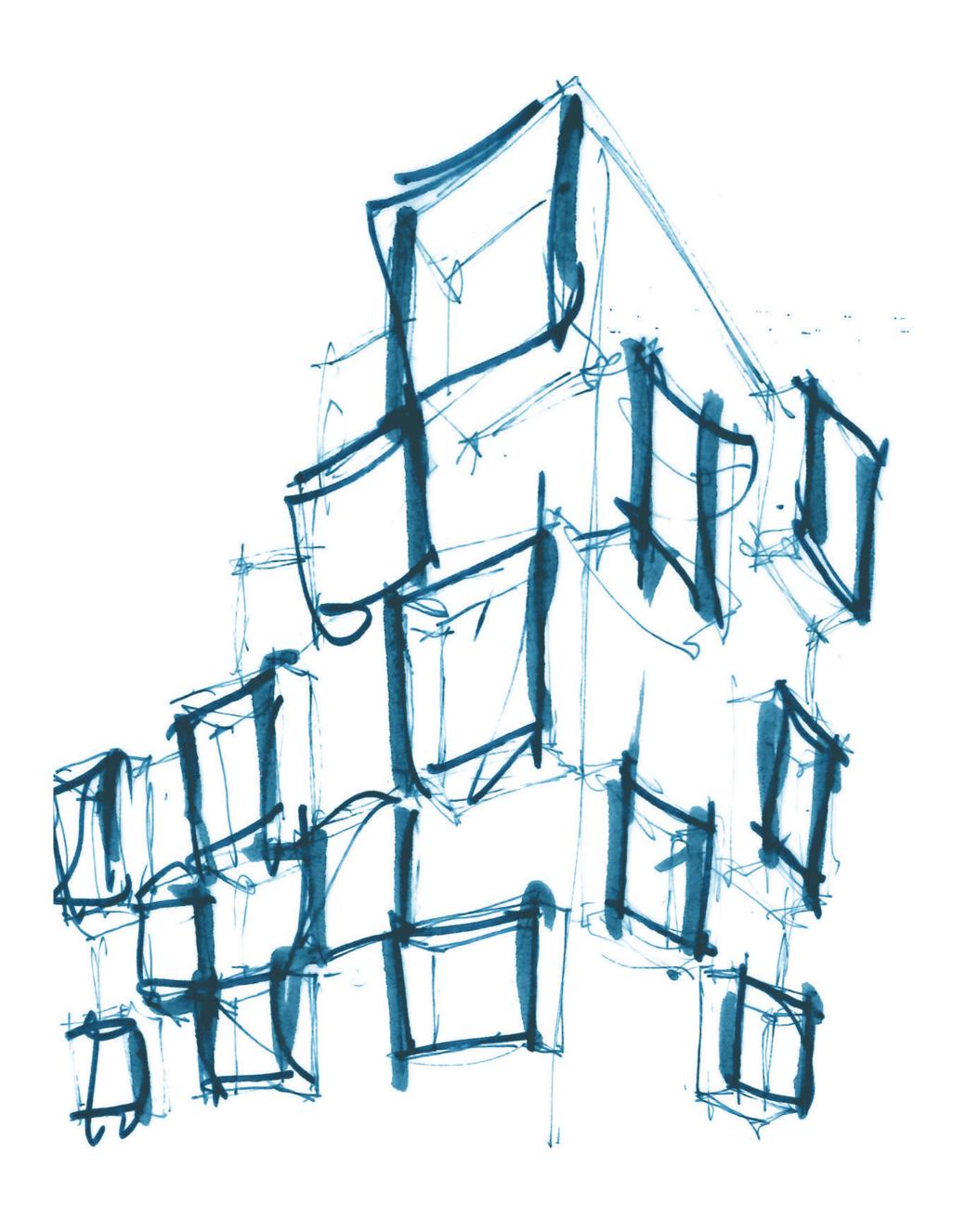
A6.00 Open Space Diagrams

A6.01 Parks & Recreation Credit Diagrams

## LANDSCAPE DRAWINGS

L1.0 L1 Landscape PlanL1.1 L2, L3, L30 & L31 Amenity Pool Landscape PlanL2.0 Plant Materials

L5.0 Ground Sections at Shatto PlaceL5.1 Ground Sections at W 6th Street



# SE SOUL

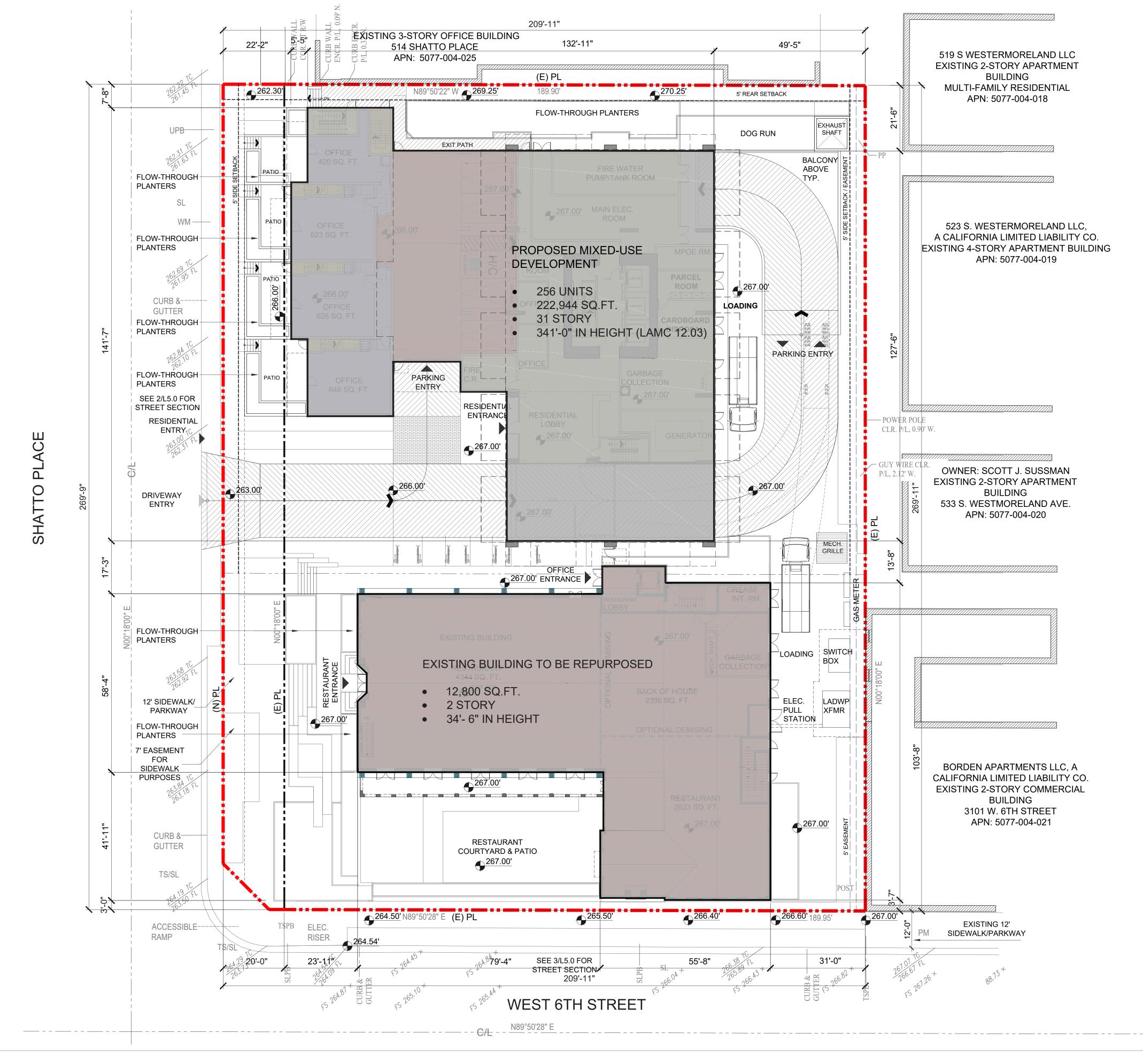
# 550 Shatto Place

Entitlement Application
Revised Pages

2018 November 6

TF SHATTO LP | CHRIS DIKEAKOS ARCHITECTURAL CORP |

CONNECT LA



CHRIS DIKEAKOS ARCHITECTURAL CORP.

550 Shatto Place

Los Angeles, CA

90020, USA

**Project Information** Scale  $\frac{1}{16}$ " =  $\frac{1}{-0}$ "

PROJECT NAME	550 SHATTO PL	ACE				
PROJECT TYPE	MIXED USE RESIDENTIAL	L, COMMERCIAL AND OFFICE	DEVELOPMENT			
LEGAL DESCRIPTION						
Parcel 1		HE SHATTO PLACE TRACT, IN PAGE 86 OF MAPS, IN THE OF				PRNIA, AS PER MAP
Parcel 2	LOT 11 AND 12 IN BLOCK 3, IN THE SHATTO PLACE TRACT, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 6 PAGE 86 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.  ASSESSOR'S PARCEL NO: 5077-004-033					
ZONING	Parcel 1 Parcel 2	C2-1 (LOT 10) CR-1 (LOTS 11 & 12)				
APPLICABLE INCENTIVE PROGRAMS	Turcer 2	- BASE AND 2 ADDITIONAL IN	NCENTIVES.	ADDITIONAL INCENTIVES	: 1. SIDE/REAR SETBAG 2. 25% REDUCTION IN	0.510.00
PROJECT AREA	C2-1(Existing Building)	Lot Area (SF)	22,961	CR-1(New Building)	Lot Area (SF)	33,558
		Buildable Area (SF)	22,961		Buildable Area (SF)	32,508
Pre-dedicated Area (SF)			51,236 (Parcel 1	+Parcel 2)		
Post-dedicated Area (SF)			56,519 (Parcel 1	***************************************		
FLOOR AREA RATIO	Under Current Zoning, t	he permitted FAR is 1.5:1				
		e for Tier 4, the permitted FA	AR is 4.25:1			
	FAR	C2-1 Permitted FAR Buildable Area (SF)	Permitted Floor Area (SF)	FAR	CR-1 Permitted FAR	Permitted Floor Area (SF
			97,585	4.25	32,508	138,159
TOTAL PERMITTED FLOOR AREA (SF)			97,585+138,159	9=235 7 <i>44</i>		
TOTAL PERMITTED FEOOR AREA (ST)		Existing Building	37,303+130,13	3-255,744	New Building	
		Commercial		Office	Res	sidential
PROPOSED FLOOR AREA(SF) SUBTOAL PROPOSED AREA (SF)		12,800 <b>12,800</b>		2,507	222,944	20,437
TOTAL PROPOSED AREA (SF)						
SETBACKS		entive for reduced yard/setba			and roor ward requirer	nonts for the BASS zone
o E i Briorio	per LAMC 12.10.5.	entive for reduced yard/setba	acks for Commercial Zones	s, the project utilizes side	and real yard requirer	Hents for the IVASS Zone
	VI-		Requ	•		oposed
Per C2 Zone	Yards Front-West 6th Street	South	O'-0"	Residential 0'-0"	Commercial 3'-7"	Residential 112'-6"
Per RAS3 Zone		North	0'-0"	5'-0"	7'-8"	7'-8" @ L2
	Side-Shatto Place		0'-0"	5'-0"	22'-2"	22'-2" @ L2
Per RAS3 Zone	Side	East	0'-0"	5'-0"	31'-0"	41'-2" @ L3
DWELLING UNITS	Per LAMC 12.22.A.18, the total allowable base dwelling units is 400 sf of lot area / Unit.  By providing 11% Extremely Low-Income Units per TOC Base Incentive for Tier 4, the permitted increase in dwelling units is 80%.  Permitted DU					
	Lot Area (SF)	Base Amount		With 80% TOC Increase		
	56,519	(Lot Area/400) 141	142	256		
TOTAL PERMITTED DU			256			
TOTAL REQUIRED EXTREMELY LOW-INCOME UNITS	29	(11% of Total Units Pro	ovided After Incentives)			
Units Mix	Studios	One Bedroom	Two Bedroom	3 Bedroom	4 Bedroom	
	2	150	96	8	0	
TOTAL PROPOSED DU			256			
TOTAL PROVIDED EXTREMELY LOW-INCOME UNITS			29			
OPEN SPACE		per LAMC 12.21.G will be reduc	ced through the TOC Additions	al Incentives for Tier 4 by 25°	%.	
	I Indian	SF / Unit	# of Units	Open Space Req. (SF)		
	W. C.	and the last state and the last				
	< 3 Habitable Rooms	100	152	15,200		
	W. C.	and the last state and the last				
	< 3 Habitable Rooms 3 Habitable Rooms	100 125	152 96 8 Total	15,200 12,000 1,400 28,600		
	< 3 Habitable Rooms 3 Habitable Rooms > 3 Habitable Rooms	100 125	152 96 8 Total TOC 25% Reduction	15,200 12,000 1,400 28,600 7,150		
REQUIRED OPEN SPACE AREA (SF)	<ul><li>&lt; 3 Habitable Rooms</li><li>3 Habitable Rooms</li><li>&gt; 3 Habitable Rooms</li></ul>	100 125 175	152 96 8 Total TOC 25% Reduction 28,600-7,150	15,200 12,000 1,400 28,600 7,150 = <b>21,450</b>		
REQUIRED OPEN SPACE AREA (SF)	< 3 Habitable Rooms 3 Habitable Rooms > 3 Habitable Rooms Type	100 125 175	152 96 8 Total TOC 25% Reduction 28,600-7,150 Area (SF)	15,200 12,000 1,400 28,600 7,150 =21,450 % of Total Required		
	<ul> <li>3 Habitable Rooms</li> <li>3 Habitable Rooms</li> <li>3 Habitable Rooms</li> <li>Type</li> <li>Common Open Space</li> </ul>	100 125 175	152 96 8 Total TOC 25% Reduction 28,600-7,150 Area (SF) 10,725	15,200 12,000 1,400 28,600 7,150 =21,450 % of Total Required 50%		
REQUIRED OPEN SPACE AREA (SF) PROVIDED OPEN SPACE AREA (SF)	<ul> <li>3 Habitable Rooms</li> <li>3 Habitable Rooms</li> <li>3 Habitable Rooms</li> <li>Type</li> <li>Common Open Space</li> </ul>	100 125 175	152 96 8 Total TOC 25% Reduction 28,600-7,150 Area (SF) 10,725	15,200 12,000 1,400 28,600 7,150 =21,450 % of Total Required 50% 46%		
	<ul> <li>3 Habitable Rooms</li> <li>3 Habitable Rooms</li> <li>3 Habitable Rooms</li> <li>Type</li> <li>Common Open Space</li> </ul>	100 125 175  Exterior Common Open Space	152 96 8 Total TOC 25% Reduction 28,600-7,150 Area (SF) 10,725 9,793 932	15,200 12,000 1,400 28,600 7,150 =21,450 % of Total Required 50% 46%		
	<ul> <li>3 Habitable Rooms</li> <li>3 Habitable Rooms</li> <li>&gt; 3 Habitable Rooms</li> <li>Type</li> <li>Common Open Space Including:</li> </ul>	100 125 175  Exterior Common Open Space	152 96 8 Total TOC 25% Reduction 28,600-7,150 Area (SF) 10,725 9,793 932	15,200 12,000 1,400 28,600 7,150 =21,450 % of Total Required 50% 46% 4%		

ANDSCAPE DISTRIBUTION	Minimum 25% of require	ed Exterior Common Open S	Space		
	Common Exterior Open	<u> </u>	Area (SF)		
REQUIRED	9,793	x 25%	2,449		
	Location		Area	(SE)	
	L1			380	
	L2		92		
	L30			03	
PROVIDED			3,50	3	
TREE REQUIREMENTS	1 Tree / 4 Dwelling Unit	s			
REQUIRE	# Dwelling Units	Ratio	# Trees		
	256		64	-	
				<b>_</b> 	
PROVIDED		64	(This project may provi	de more than required)	
HEIGHT		Project is in Height District	1.		
PERMITTED	No Limit	, 5		-	
i Liximii i Li				-	
PROPOSED	341'-0"	New Bulidng			
	34'-6"	Existing Bulidng			
				4	
PROPOSED STORIES	31	To the roof of the last occup	pied floor.		
/EHICLE PARKING		e for Tier 4, residential parkir	· ·		
		ne, commercial parking is re	equired at 1 per 500 st.	<u></u>	
REQUIRED RESIDENTIAL PARKING	<u> </u>			_	
PROVIDED RESIDENTIAL PARKING	Standard	Compact	Total	-	
	133	165	298		
REQUIRED COMMERCIAL PARKING		Ratio	Stalls Required	-	
	2,507	1 per 500	О	-	
PROVIDED COMMERCIAL PARKING	Standard	Compact	Total		
	19	12	31		
TOTAL PARKING PROVIDED	298+31=329				
BICYCLE PARKING	Per Ordinance No. 1854	480 in regards to bicycle parl	king regulations.		
	Area (SF)	Short Term	Long Term		
Restaurant & Office within existing building		0	0		ange of Use. Buildings undergoing a change of
				use shall not be required	to provide bicycle parking.
Office in new building	2,507	(1 per 10,000 SF)	(1 per 5,000 SF)		
Omce in new building	2,507	0	1		
COMMERCIAL BIKE PARKING		2	2	B T 11 40 04 4 10 1	) (O) A
REQUIRED	)		<u> </u>	Per Table 12.21 A.16 (a	)(2) A minimum of 2 is required for Offices.
COMMERCIAL BIKE PARKING		2	2		
PROVIDED	)	_			
Dugiling Heit	Sh.	ort Term	Long	Term	
Dwelling Units	Ratio	# Spaces Required	Ratio	# Spaces Required	
1-25		3	1 space per unit	25	
		5	1 space per 1.5 units	50	
101-200	1 space per 20 units	5	1 space per 2 units	50	
	1 opace per 40 arms	2	1 space per4 units	14	
RESIDENTIAL BIKE PARKING REQUIRED		15		139	
KEQUIKEL	<b>′</b>		<u> </u>	L	
RESIDENTIAL BIKE PARKING		15		139	
PROVIDED	P				
	She	ort Term	Lona	Term	
TOTAL BIKE PARKING PROVIDED		15=17	2+139		

CHRIS DIKEAKOS ARCHITECTURAL CORP.

TF SHATTO LP

ENTITLEMENT APPLICATION

550 Shatto Place Los Angeles, CA

90020, USA

Nov. 6, 2018 Sheet Size ARCH D 24 x 36

A1.02

# Elevations

West Elevation

# MATERIAL LEGEND

- ALUMINUM FRAMED WINDOW SYSTEM C/W SEALED VISION GLASS and SPANDREL GLAZING UNIT:
- 2 GLAZED ALUMINUM GUARDRAIL
  Tint/Color TBD
- ARCHITECTURAL METAL SCREEN: Color TBD
- 4 PAINTED CONCRETE (Existing)
- PAINTED CONCRETE
  Color TBD
- PAINTED CONCRETE
  Color TBD
- 6 PAINTED CONCRETE SLAB:
  Color TBD



90020, USA

# **East Elevation**

# MATERIAL LEGEND

- ALUMINUM FRAMED WINDOW SYSTEM C/W SEALED VISION GLASS and SPANDREL GLAZING UNIT:
- 2 GLAZED ALUMINUM GUARDRAIL
  Tint/Color TBD
- ARCHITECTURAL METAL SCREEN: Color TBD
- PAINTED CONCRETE (Existing)
- PAINTED CONCRETE
  Color TBD
- PAINTED CONCRETE
  Color TBD
- 6 PAINTED CONCRETE SLAB:
  Color TBD

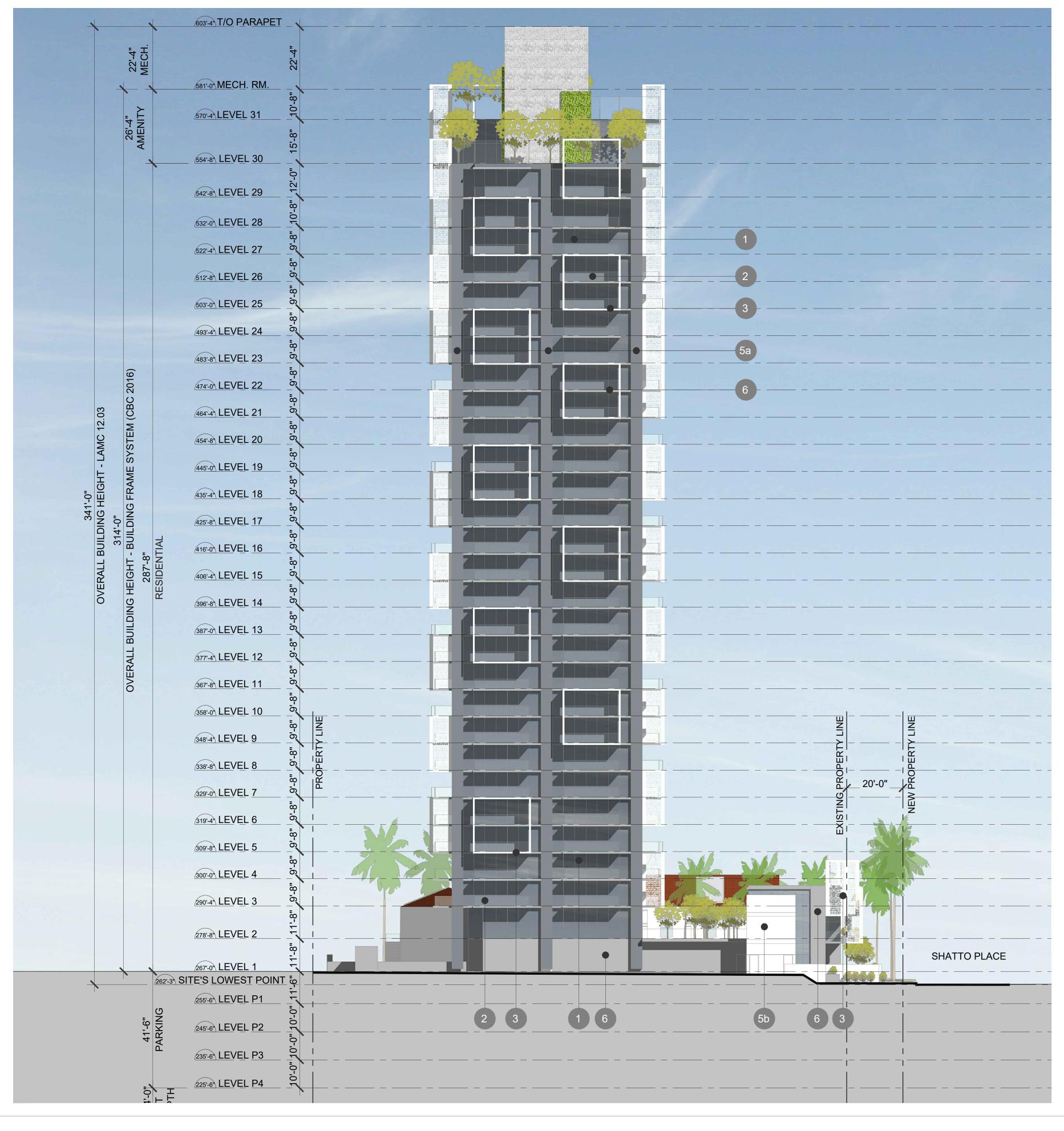


90020, USA

# North Elevation

# MATERIAL LEGEND

- ALUMINUM FRAMED WINDOW SYSTEM C/W SEALED VISION GLASS and SPANDREL GLAZING UNIT:
- 2 GLAZED ALUMINUM GUARDRAIL
  Tint/Color TBD
- ARCHITECTURAL METAL SCREEN: Color TBD
- 4 PAINTED CONCRETE (Existing)
- PAINTED CONCRETE
  Color TBD
- PAINTED CONCRETE
  Color TBD
- 6 PAINTED CONCRETE SLAB:
  Color TBD

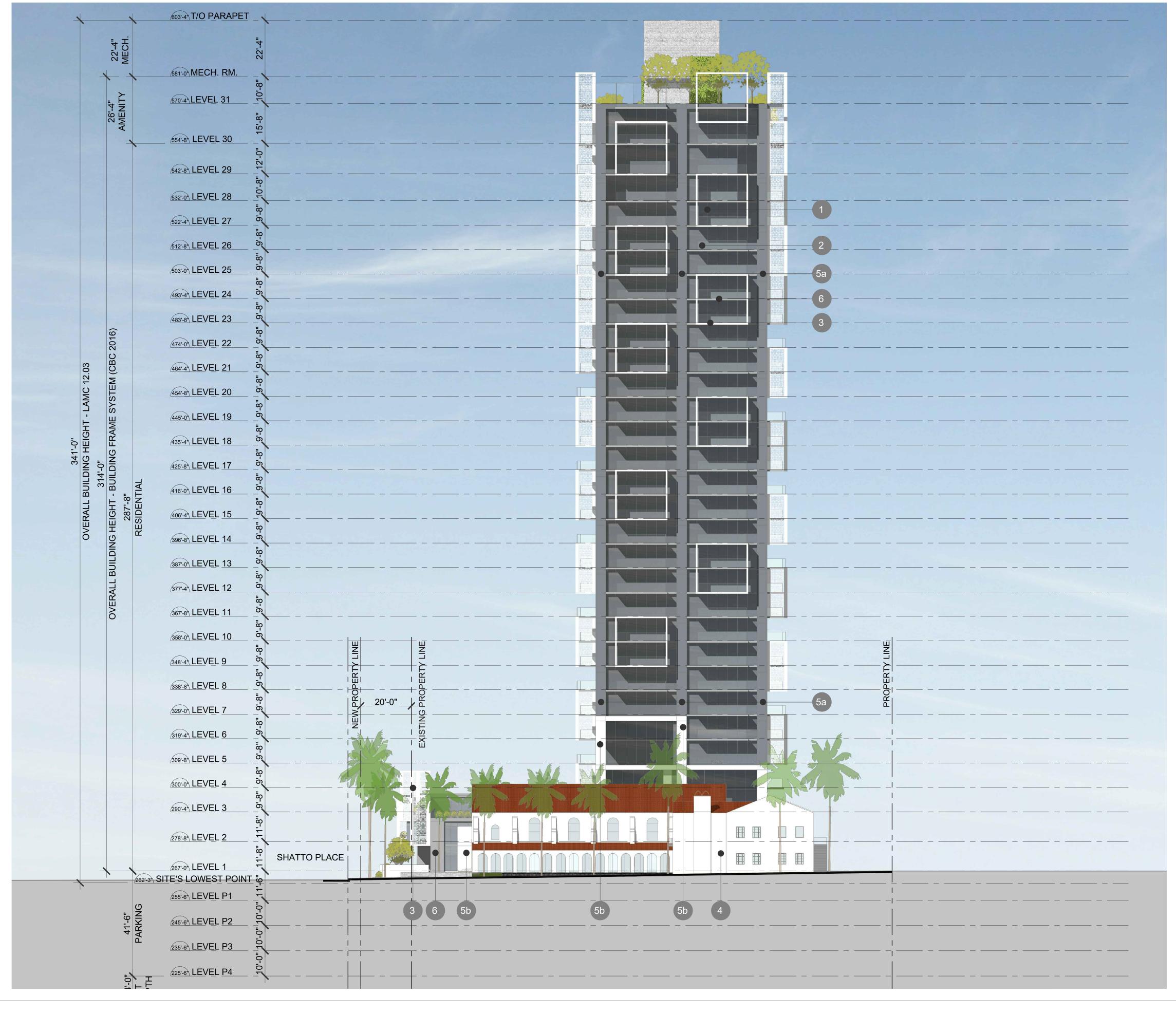


90020, USA

# South Elevation

# MATERIAL LEGEND

- ALUMINUM FRAMED WINDOW SYSTEM C/W SEALED VISION GLASS and SPANDREL GLAZING UNIT:
- 2 GLAZED ALUMINUM GUARDRAIL
  Tint/Color TBD
- ARCHITECTURAL METAL SCREEN: Color TBD
- 4 PAINTED CONCRETE (Existing)
- PAINTED CONCRETE
  Color TBD
- PAINTED CONCRETE
  Color TBD
- 6 PAINTED CONCRETE SLAB:
  Color TBD





Connect

90020, USA

Sheet Size

ARCH D 24 x 36

South Elevation Scale  $\frac{1}{20}$ " =  $\frac{1}{-0}$ "



Existing Building (North Elevation)



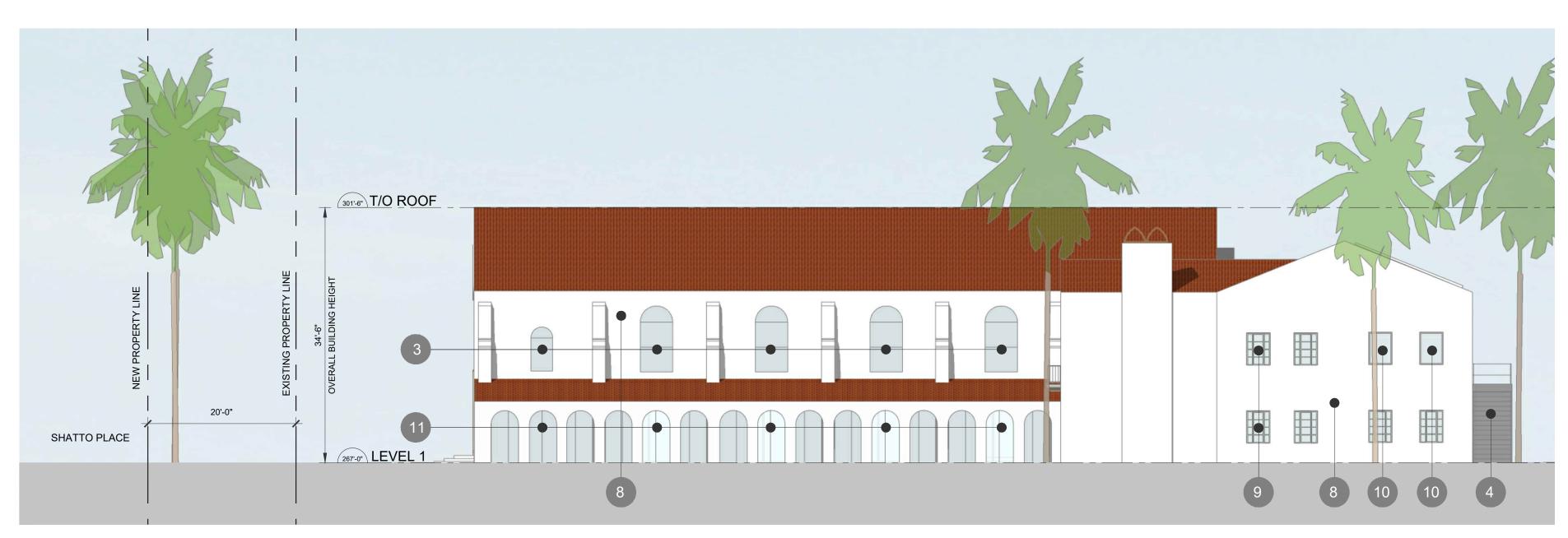








Photographs of Existing Building



Existing Building (South Elevation facing Sixth Street)

# RENOVATION PROPOSAL

OPENING & STOREFRONT. WIDTH TO MATCH (E) WINDOW ABOVE ELEVATOR BUILDING. EXTERIOR FINISH IN CONTRAST TO (E) CHURCH RETAIN (E) WINDOW OUTER FRAME, REPLACE STAINED GLASS

TF SHATTO LP

W/ REPATTERNED STAINED GLASS DE-MOUNTABLE STAIR WINDOW TO REMAIN

OPEN ARCHWAY TO OPEN AIR LOBBY (N) METAL GATE ROSE WINDOW LOCATION CURRENTLY BOARDED UP. EXISTANCE AND CONDITION TBD

PLASTER TO BE REPAIRED AS NEEDED. PAINT TO MATCH EXISTING (N) STEEL WINDOW TO REMAIN

WINDOW AT EXISITNG LOCATION

(N) WINDOW OPENINGS BEYOND AT INTERIOR WALL OF ARCADE (N) WALL OPENING & STOREFRONT

GLASS PANELED DOOR. ORIGINAL WOOD DOOR TO BE STORED





ENTITLEMENT APPLICATION

550 Shatto Place Los Angeles, CA 90020, USA

Date Nov. 6, 2018 Sheet Size

ARCH D 24 x 36

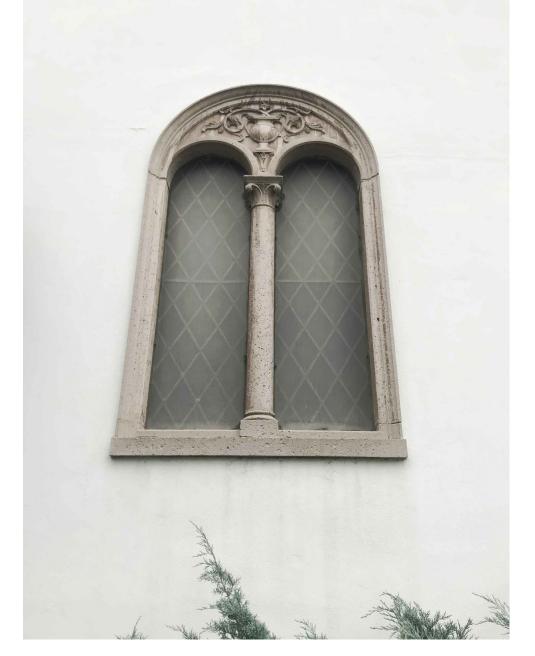
Elevations **Existing Building** North & South Elevations/Photographs Scale  $\frac{3}{32}$ " = 1'-0"













Photographs of Existing Building

# RENOVATION PROPOSAL

OPENING & STOREFRONT. WIDTH TO MATCH (E) WINDOW ABOVE ELEVATOR BUILDING. EXTERIOR FINISH IN CONTRAST TO (E) CHURCH 7 RETAIN (E) WINDOW OUTER FRAME, REPLACE STAINED GLASS W/ REPATTERNED STAINED GLASS

DE-MOUNTABLE STAIR

OPEN ARCHWAY TO OPEN AIR LOBBY (N) METAL GATE ROSE WINDOW LOCATION CURRENTLY BOARDED UP. EXISTANCE AND CONDITION TBD

PLASTER TO BE REPAIRED AS NEEDED. PAINT TO MATCH EXISTING (N) STEEL WINDOW TO REMAIN

WINDOW AT EXISITNG LOCATION

(N) WINDOW OPENINGS BEYOND AT INTERIOR WALL OF ARCADE 12 (N) WALL OPENING & STOREFRONT

GLASS PANELED DOOR. ORIGINAL WOOD DOOR TO BE STORED

14 (N) SKYLIGHT

90020, USA

603'-4" T/O PARAPET MECH. 581'-0' MECH. RM. POOL DECK POOL DECK 570'-4" LEVEL 31 AMENITY AMENITY 554'-8'\ LEVEL 30 RES. RES. 542'-8" LEVEL 29 RES. RES. 532'-0" LEVEL 28 RES. RES. 522'-4" LEVEL 27 RES. RES. 512'-8" LEVEL 26 RES. RES. 503'-0" LEVEL 25 RES. RES. 493'-4" LEVEL 24 RES. RES. 483'-8' LEVEL 23 RES. RES. 474'-0' LEVEL 22 RES. RES. 464'-4" LEVEL 21 RES. RES. 454'-8' LEVEL 20 RES. RES. 445'-0" LEVEL 19 RES. RES. 435'-4" LEVEL 18 RES. RES. 425'-8' LEVEL 17 RES. RES. 416'-0" LEVEL 16 RES. RES. 406'-4" LEVEL 15 RES. RES. 396'-8'\ LEVEL 14 RES. RES. 387'-0" LEVEL 13 RES. RES. 377'-4' LEVEL 12 RES. RES. 367'-8" LEVEL 11 RES. RES. 358'-0" LEVEL 10 RES. RES. 348'-4" LEVEL 9 RES. RES. 338'-8" LEVEL 8 RES. RES. 329'-0" LEVEL 7 RES. RES. 319'-4'\ LEVEL 6 RES. RES. 309'-8"\ LEVEL 5 RES. RES. 300'-0" LEVEL 4 RES. RES. TH UNIT 2 290'-4" LEVEL 3 OUTDOOR AMENITY DECK AMENITY TH UNIT 2 278'-8" LEVEL 2 GENERAT OR OFFICE SHATTO PL PARKING 26>.0 267'-0" LEVEL 1 262'-3" SITE'S LOWEST POINT STORAGE PARKING LEVEL P1 255'-6" LEVEL P1 PARKING LEVEL P1 SEE A4.02 STORAGE 245'-6' LEVEL P2 PARKING LEVEL P2 PARKING LEVEL P2 PARKING LEVEL P3 STORAGE 235'-6" LEVEL P3 10-0"10-1 PARKING LEVEL P3 PARKING LEVEL P4 STORAGE PARKING LEVEL P4

# Section A – A

Commercial Parking Residential Parking / Common Areas Residential Areas

CHRIS DIKEAKOS ARCHITECTURAL CORP.

ARCH D 24 x 36

A4.00

## 603'-4"\T/O PARAPET MECH. 581'-0' MECH. RM. POOL DECK 570'-4" LEVEL 31 POOL AMENITY **ROOF DECK** 554'-8" LEVEL 30 RES. RES. 542'-8' LEVEL 29 RES. RES. 532'-0" LEVEL 28 RES. RES. 522'-4" LEVEL 27 RES. RES. 512'-8'\ LEVEL 26 RES. RES. 503'-0" LEVEL 25 RES. RES. 493'-4'\ LEVEL 24 RES. RES. 483'-8" LEVEL 23 RES. RES. 474'-0" LEVEL 22 RES. RES. 464'-4' LEVEL 21 RES. RES. 454'-8'\ LEVEL 20 RES. RES. 445'-0' LEVEL 19 RES. RES. 435'-4'\ LEVEL 18 RES. RES. 425'-8"\ LEVEL 17 RES. RES. 416'-0" LEVEL 16 RES. RES. 406'-4" LEVEL 15 RES. RES. 396'-8" LEVEL 14 RES. RES. 387'-0'\ LEVEL 13 RES. RES. 377'-4' LEVEL 12 RES. RES. 367'-8" LEVEL 11 RES. RES. 358'-0" LEVEL 10 RES. RES. 348'-4' LEVEL 9 RES. RES. 338'-8" LEVEL 8 RES. RES. 329'-0" LEVEL 7 RES. 319'-4'\ LEVEL 6 RES. RES. 309'-8" LEVEL 5 RES. 300'-0" LEVEL 4 RES. 290'-4" LEVEL 3 **EXISTING BUILDING AMENITY** TO BE RENOVATED 278'-8" LEVEL 2 MECH. ELEC. RM. LOBBY WEST 6TH ST. 267'-0" LEVEL 1 262'-3" SITE'S LOWEST POINT & PARKING LEVEL P1 255'-6" LEVEL P1 PARKING LEVEL P1 245'-6' LEVEL P2 PARKING LEVEL P2 PARKING LEVEL P2 235'-6'\ LEVEL P3 PARKING LEVEL P3 PARKING LEVEL P3 PARKING LEVEL P4 225'-6' LEVEL P4 PARKING LEVEL P4

# Section B – B

Commercial / Commercial Parking Residential Parking / Common Areas Residential Areas

CHRIS DIKEAKOS ARCHITECTURAL CORP.

90020, USA



View of Southwest Corner at Shatto Place & W 6th Street



90020, USA



Street view of West Elevation



Street view of Offices and Townhomes along Shatto Place

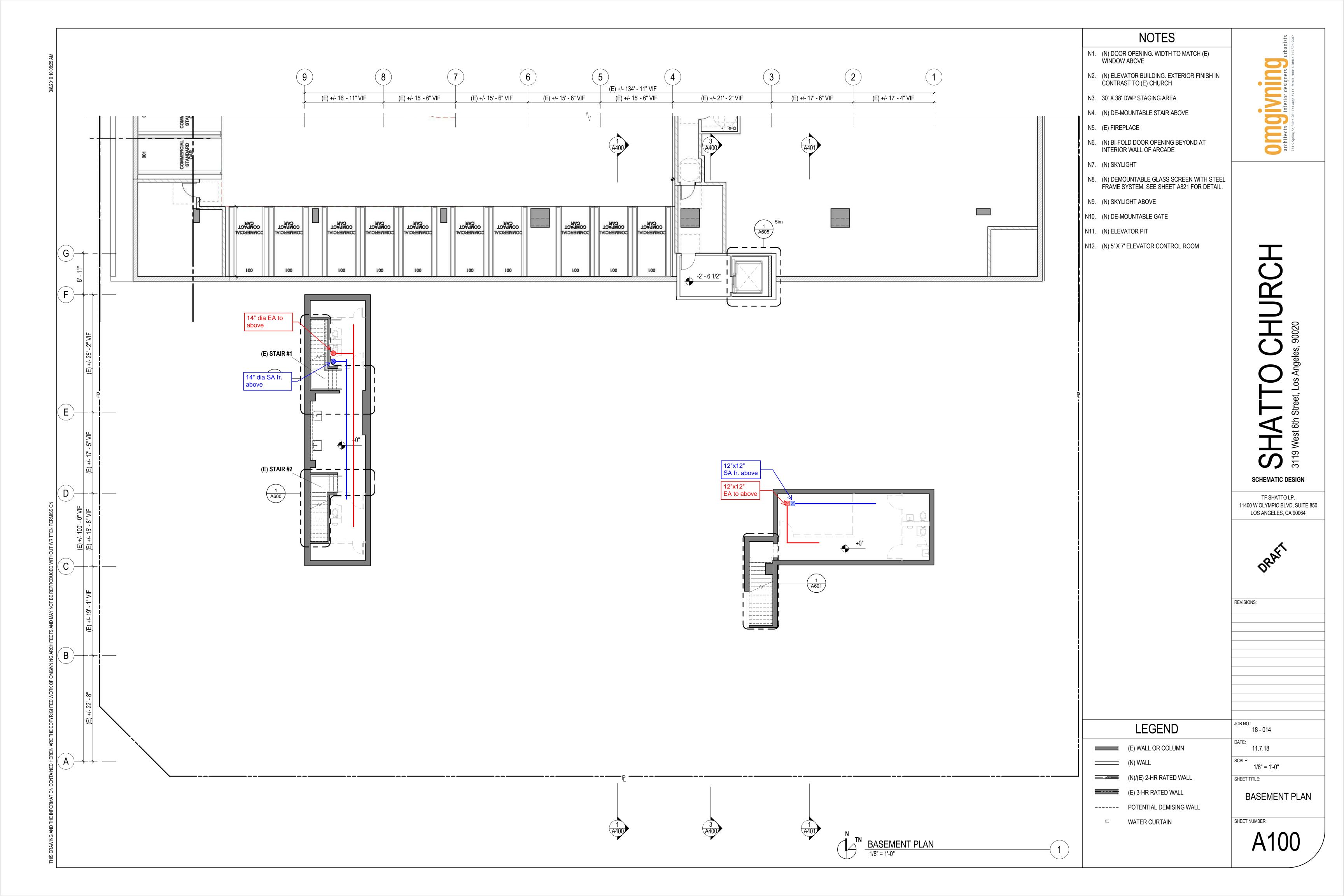


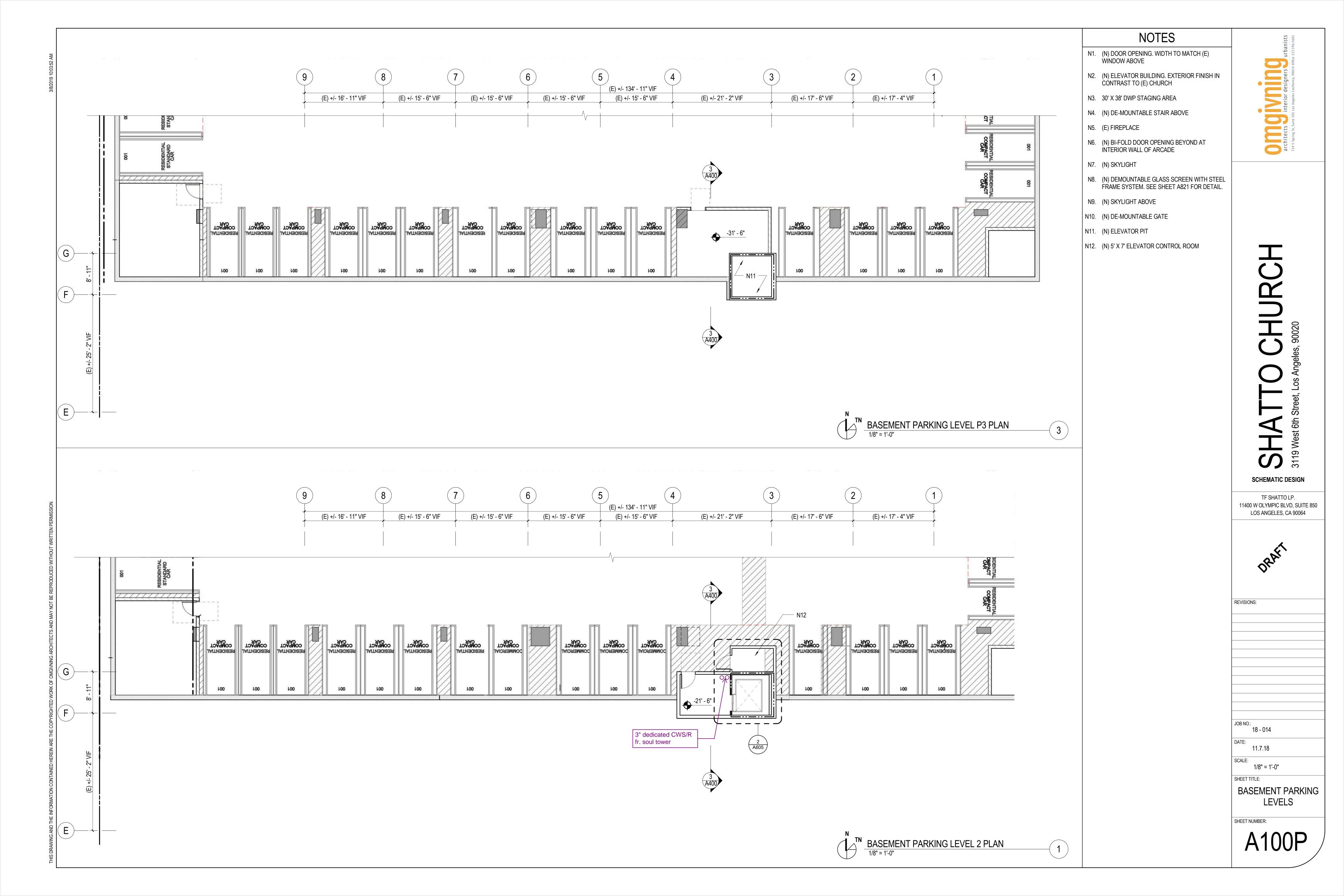
Street view of Southwest Corner at Shatto Place & W 6th Street

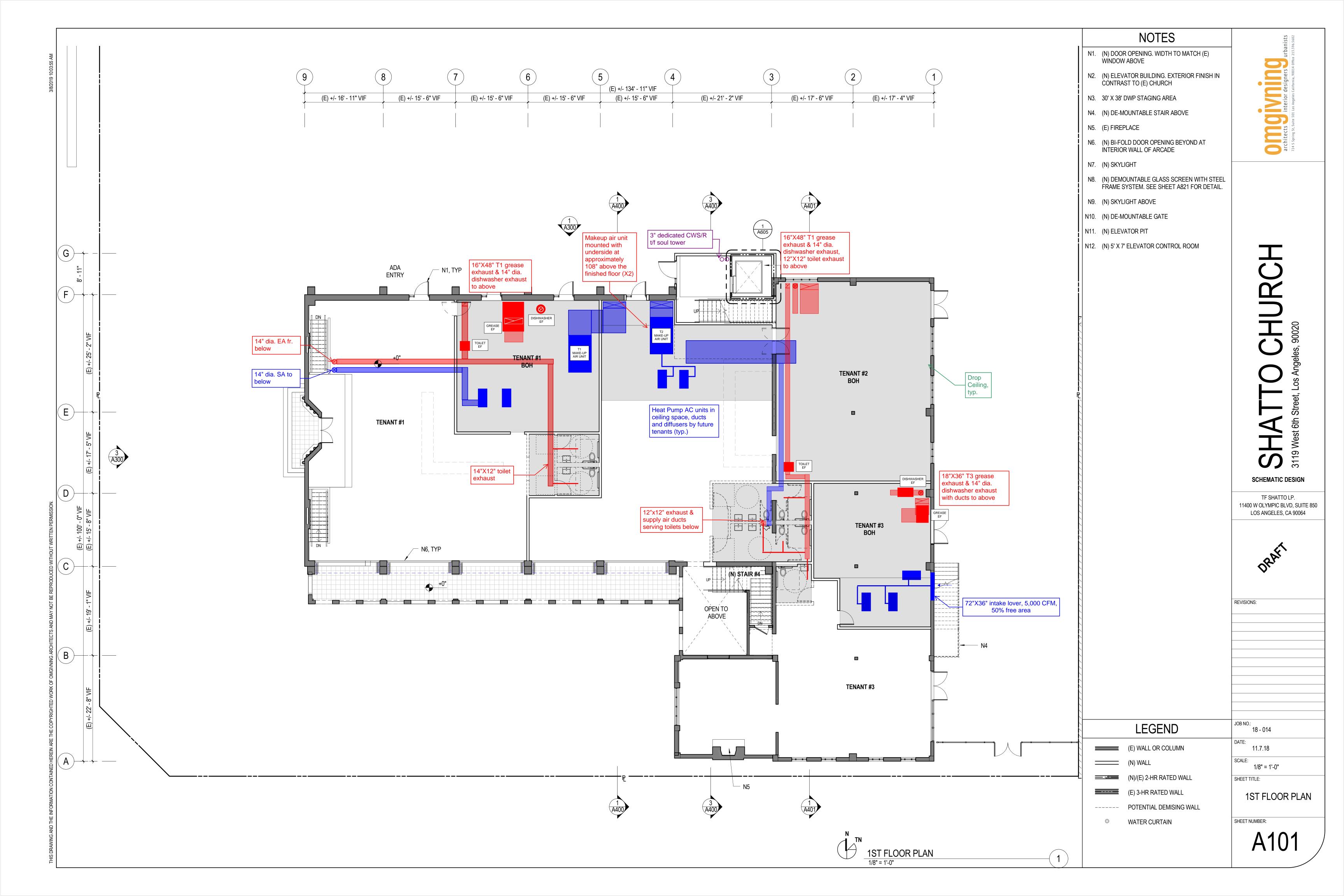


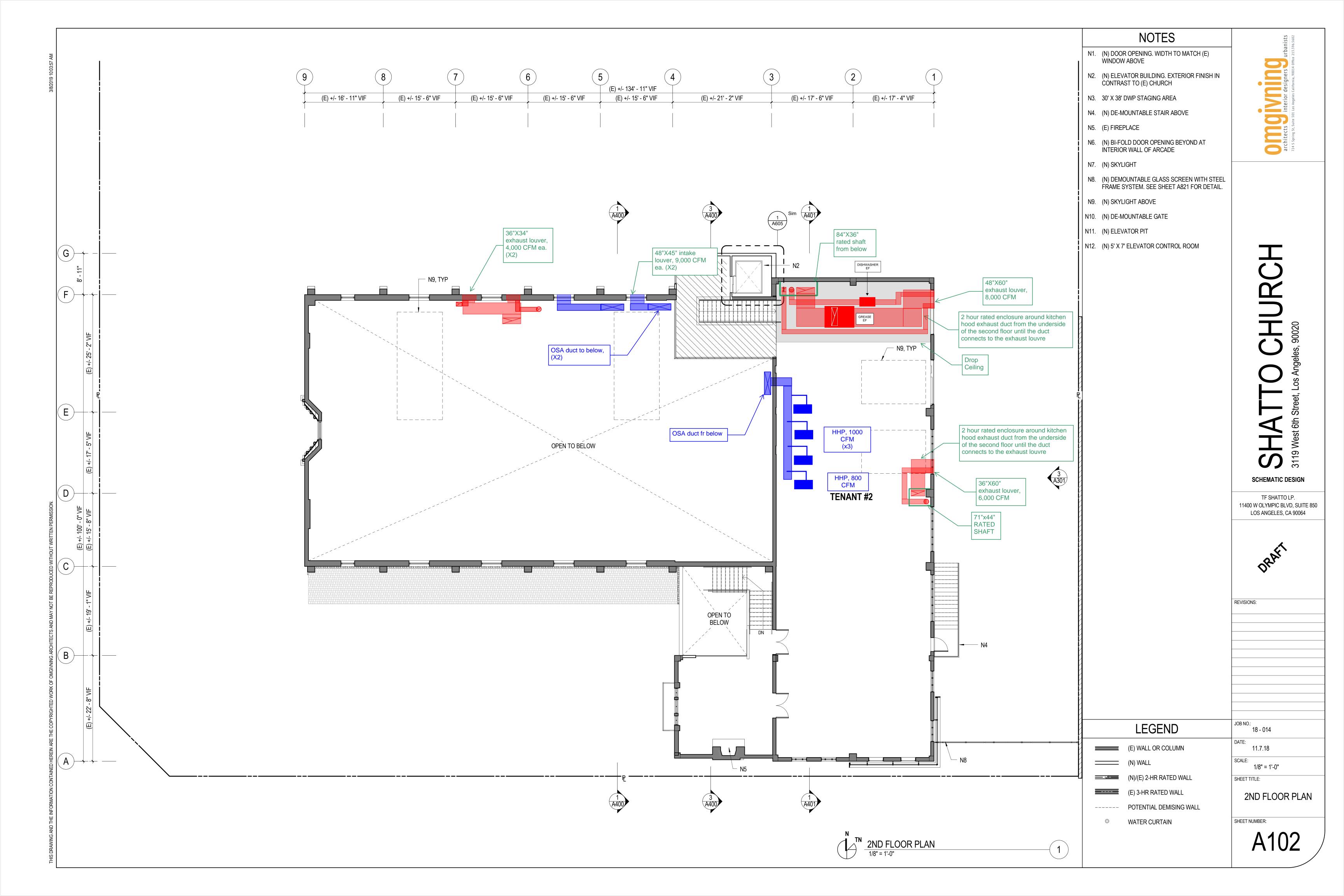
Street view of South Elevation along W 6th Street

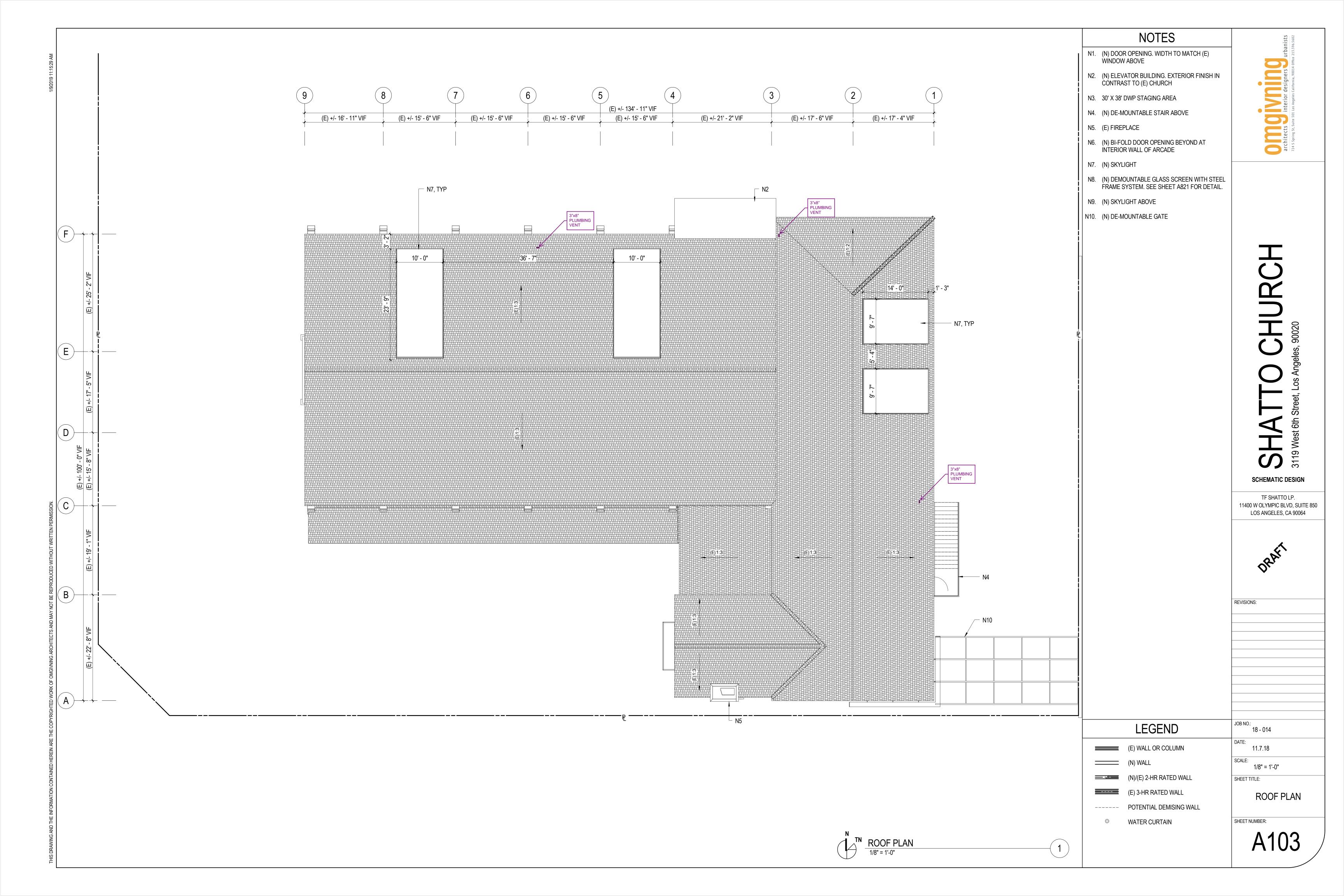
Sheet Size





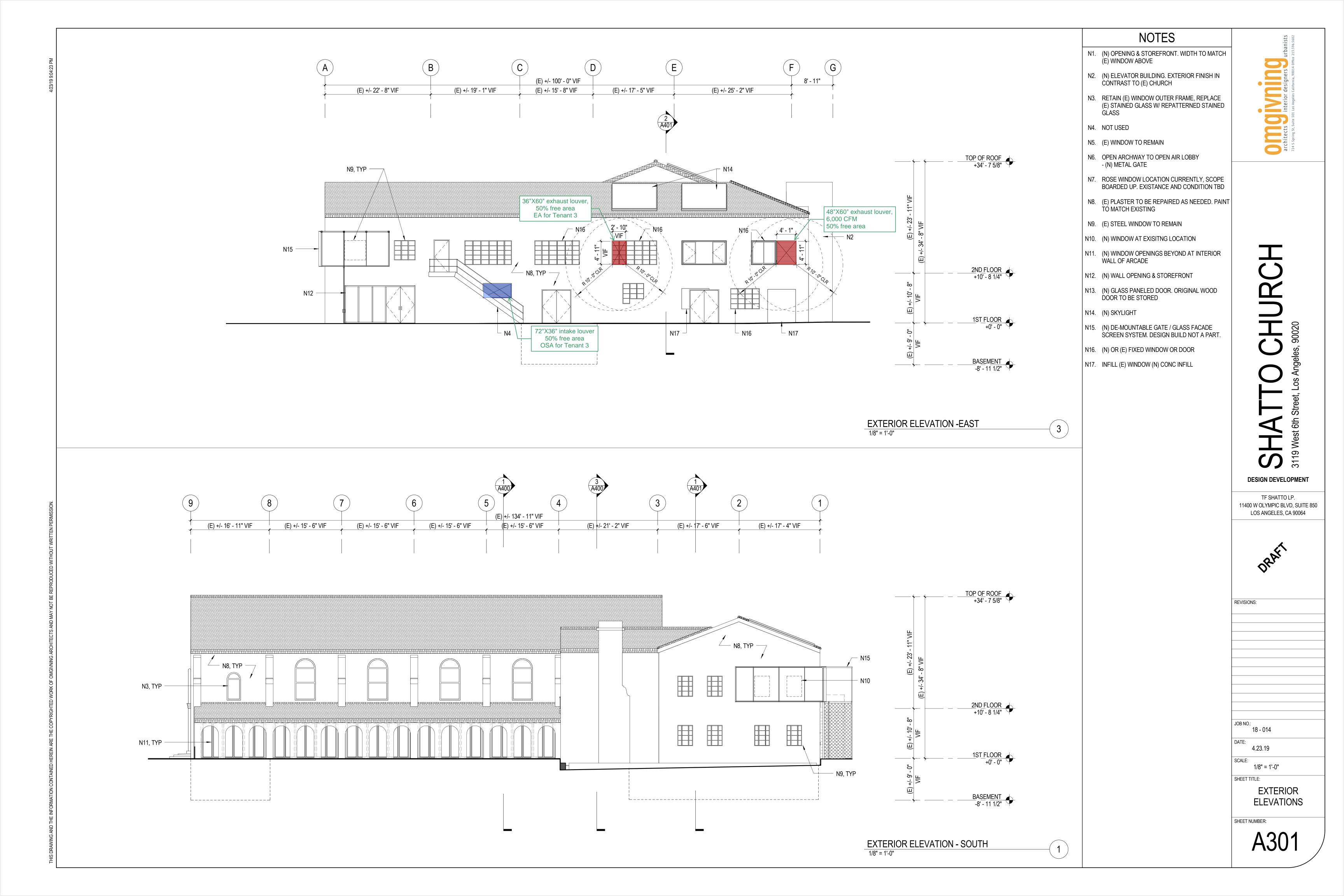


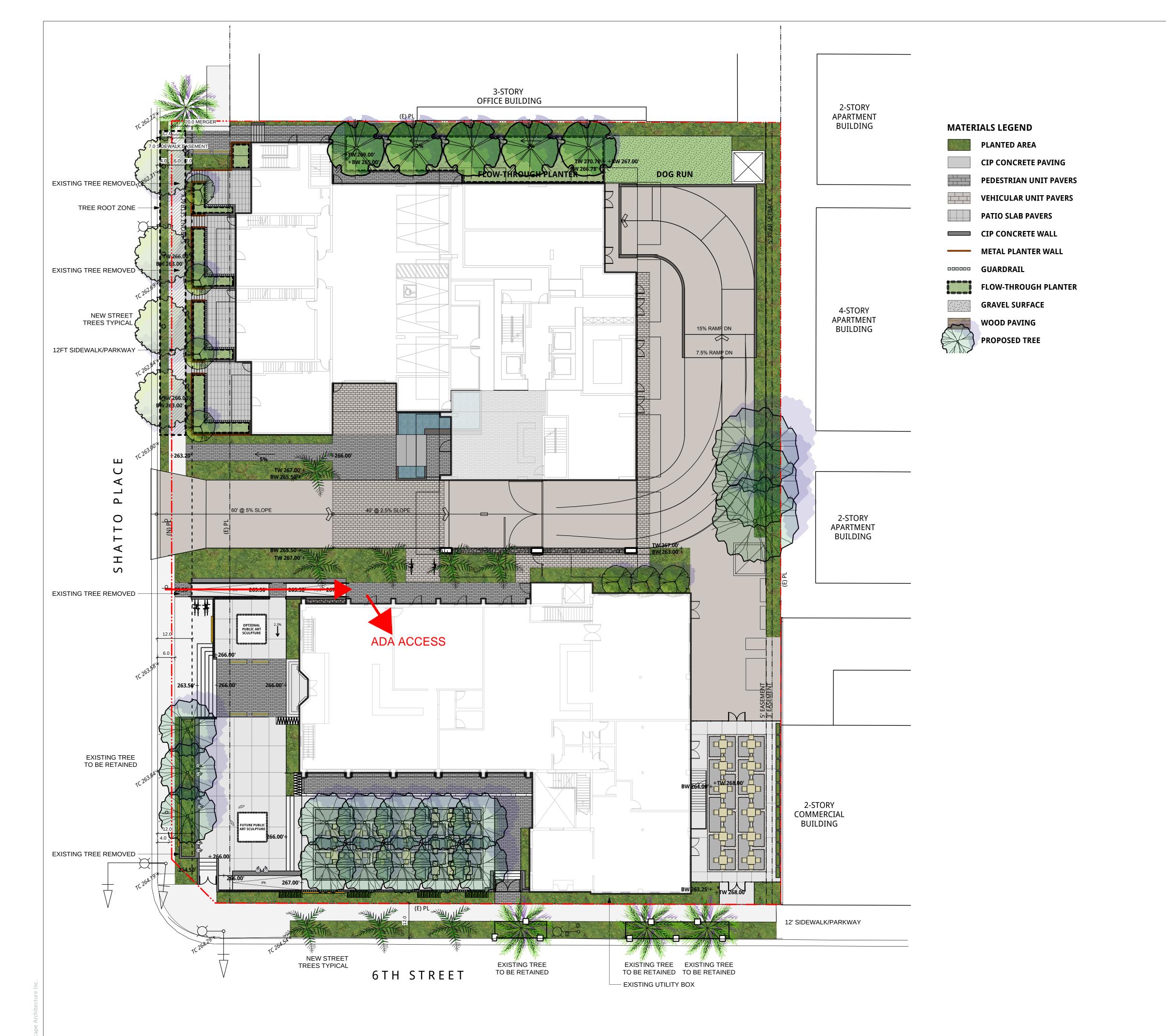






**NOTES** 







2305 Hemlock St, Vancouver BC, V6H 2V1 T 604 681 3303 F 604 681 3307 www.connectla.ca

CONNECT LANDSCAPE ARCHITECTURE INC.

DOES NOT GUARANTEE THE EXISTENCE,

LOCATION, AND ELEVATION OF UTILITIES AND /

OR CONCEALED STRUCTURES AT THE PROJECT

SITE.

THE CONTRACTOR IS RESPONSIBLE FOR

DETERMINING THE EXISTENCE, LOCATION, AND

ELEVATION OF ALL UTILITIES AND / OR

CONCEALED STRUCTURES, AND IS

RESPONSIBLE FOR NOTIFYING THE

APPROPRIATE COMPANY, DEPARTMENT OR

PERSON(S) OF ITS INTENTION TO CARRY OUT ITS

OPERATIONS.

3 ISSUED FOR REVIEW 18-06-06
2 ISSUED FOR REVIEW 18-05-16
1 ISSUED FOR REVIEW 18-03-12
REVISIONS YY-MM-DD

4 ISSUED FOR ENTITLEMENT APPLICATION 18-07-05

# MIXED-USE DEVELOPMENT

550 Shatto PL & 6th ST Los Angeles, CA

Scale:	1/16"=1'0"
Drawn:	KD
Reviewed:	DS
Project No.	06-603

LAYOUT & MATERIALS LEVEL 1